

CONCRETE HOUSES

PORTLAND CEMENT ASSOCIATION

CONCRETE HOUSES

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PORTLAND CEMENT ASSOCIATION

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IT HAS been well said that the character of a people may be determined by the homes they live in, and that the best monument a man can erect for future generations is a home of permanent character. It has been the desire of man at all times to build his house as well as he could. In European countries masonry construction of brick and stone has been used almost exclusively. The pioneers in this country being dependent upon the materials close at hand built log cabins, and from these has evolved the American home of today. Many serious conflagrations, such as the great Chicago fire, the Baltimore fire, the Chelsea fire, and others, have taught us that the house that was the best obtainable in colonial days is unsuited to the congested areas of large cities or to the modern farm where oil fuel and electrical power create serious fire hazards.

Attention is, therefore, being concentrated on permanent, fire resistive types of construction.

The wise home builder of today knows that a five per cent increase in the cost of his house, spent on permanent materials that will not burn, decay, settle, or require frequent maintenance, is

money well spent that will begin at once to earn dividends for him.

Concrete meets these requirements of the home builder as no other material does, and besides is the most adaptable of all materials.

Concrete foundations support the heaviest buildings in the world. Concrete walls are fire resistive and permanent.

Portland cement stucco is pleasing and artistic in appearance. It does away with frequent painting and is permanent.

Steps and porches of concrete are non-slippery and do not wear or decay, nor do they ever need painting.

Concrete walks and driveways are always solid, clean, and neat.

Concrete roofing tile or cement asbestos shingles are fire resistive, permanent, and maintenance free. Their color is pleasing and they reduce the insurance rates on the house.

CONSTRUCTION

Walls

The houses shown in this book are intended to be built of concrete block and covered on the outside with portland cement stucco. The designs contemplate the use of standard 8 by 8 by 16-inch block in the upper walls with basement walls of block 10

inches or 12 inches thick. With very slight changes concrete building tile or block of other sizes and shapes can be used. Monolithic construction can be substituted with only detail changes necessarily varying slightly to conform with the particular system of forms employed.

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Concrete block is a permanent masonry material with a strength very much in excess of that required to carry the building and maintain it in perfect rigidity.

The block should always be laid in portland cement mortar in order to join the individual units perfectly into one solid structure.

Rough, unsurfaced concrete block furnish a perfect backing for portland cement stucco. The two materials—block and stucco—are of almost identical composition and adhesion is perfect.

Insulation

The inside of the walls are intended to be furred, lathed, and plastered, the furring and lathing providing an insulating air space that will prevent the sweating likely to occur in most climates on solid masonry walls built without insulation. So treated, the concrete house is dry and comfortable and remarkably economical in fuel requirements. In southern latitudes and in particularly dry climates the furring and lath may sometimes be safely omitted, but the home builder should consult with local architects and builders before deciding to do so. Where any of the special forms of concrete construction with a continuous dead air space in the walls are used, furring and lathing are not needed.

Concrete Block and Stucco

In many cities vast quantities of concrete block are used for house foundations. This has led to the recent extensive introduction of concrete block for the upper walls. The artistic use of portland cement stucco on block gives opportunity for charming architectural effects in Mission design or in the popular English and Colonial types. The adaptability of the material to a large range of designs insures attractive appearance and absence of monotony.

Economy

The economy of concrete-stucco construction is surprising considering the strength, fire resistance and permanence of the material. Concrete block and portland cement stucco construction is not recommended as a low cost substitute, but rather as a superior fire-resistive, maintenance-free, permanent material obtainable at only a small increase in cost above that of construction lacking these qualities.

Rigidity

Concrete block and stucco walls are rigid. They cannot warp, shrink, or sag and are to the highest degree weatherproof and fire-resistive. Rigid wall construction reduces repairs, for it gives stiffness and stability to the house, preventing the racking in high winds that causes floor joints to open, doors to jam, plaster to crack and other deterioration to start.

Basements

The time to make a basement wall watertight is when it is being built. It costs less to build a watertight concrete wall than to repair a leaky one. Concrete foundations are either placed in forms on the job or by laying up concrete block. Both types are dependable if constructed with ordinary good workmanship. Concrete block foundations have been shown in the plans for these houses because of the greater economy of using one method from footings to roof, but monolithic walls below grade may be substituted where desired.

In order to be absolutely watertight in wet soils the concrete block wall must be laid up in rich portland cement mortar and the exterior surface should be covered with a plaster coat of the same material.

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The mortar should be made not leaner than one part cement to three parts sand. Joints must be well filled and the vertical joints buttered *at both ends*. In localities where ground water is likely to rise above the cellar floor two coats of hot tar may be mopped on the exterior from the cellar floor level up to finished grade as an additional precaution.

Partitions in Cellars

Basement partitions of concrete block are suggested, although if the foundation walls are built of monolithic concrete, basement partitions may be placed in the same manner at the same time. Such partitions afford fireproof enclosures for heating equipment and fuel, keep steam and moisture within the laundry and provide more rigid support for the first floor. Coal dust and boiler ashes are confined and the fire risk is greatly minimized. Rigid support given to the floors insures that there will be no settlement of the interior with consequent cracking of plaster and loosening of the interior trim. The furnace and fuel rooms are designed to have ceilings of metal lath covered with portland cement plaster. Recent tests have shown that ceilings so protected will resist a fire of more than average intensity for over one hour, thus adding very greatly to the fire protection of the house as in these rooms fires are most likely to start. If concrete floors are used, metal lath is of course dispensed with.

Steps and Porches

Exterior steps and porches suffer the most severe exposure and usually are the first to show wear and decay. If built of concrete they will last as long as the rest of the house without the necessity for continual painting and repairs to keep them in shape. Concrete steps are easy to clean and can be finished rough to prevent slipping. They

will not sag or splinter and they never require painting. Concrete porch floors have similar advantages and are always clean. They can be washed down quickly and easily, and do not harbor dirt.

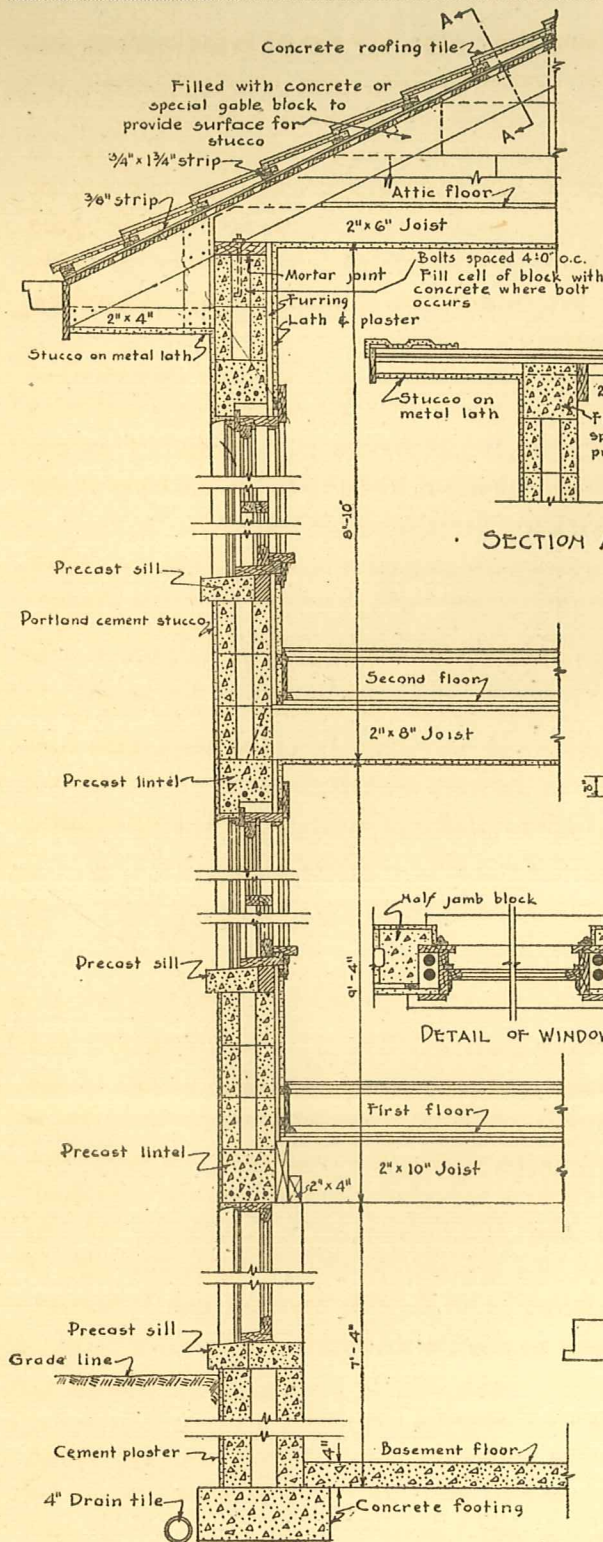
Floors

The many obvious advantages of concrete cellar floors make them the unquestioned choice in all good houses. There are even better reasons for building the upper floors of reinforced concrete construction and the practice is growing rapidly. While the plans for the houses shown in this book provide for the usual wood floor construction, there will be no difficulty in changing to concrete floors in any of these houses—and this is to be recommended. Experience in modern residences has shown that concrete floors are not cold as commonly supposed. Over a heated basement the concrete floor has been found to hold the warmth in the winter time like the stones of a fireless cooker, actually feeling warmer than a wood floor. The concrete floor finished in terrazzo or in enamel paint, or with tile borders, gives a pleasing and palatial effect at a cost hardly exceeding that of a good hardwood floor.

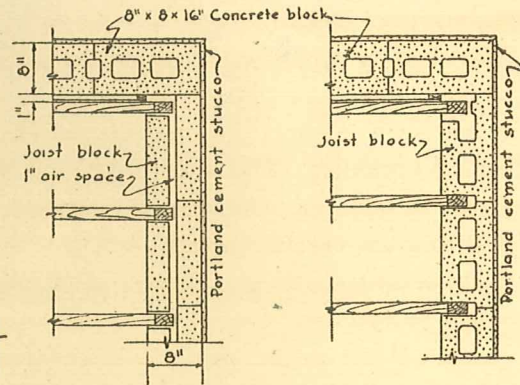
Concrete Roofing

Concrete roofing tile are for sale in many cities at a cost which makes them economical for even the smallest house. The permanent and fire-resistive qualities given to the roof, are worth many times the cost and the building is given a more substantial and finished appearance. Plans indicate and recommend concrete roofing tile or cement-asbestos shingles on all of the pitched roofs shown, but other roofings can be substituted if these materials are not readily available. Concrete slab construction is shown and recommended for the flat-roofed house designs.

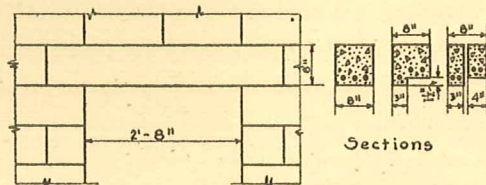
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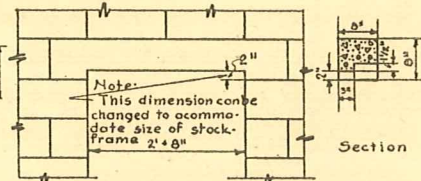
SECTION A-A



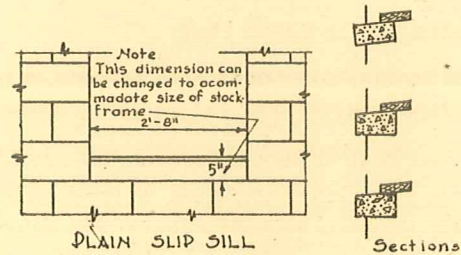
DETAILS OF JOIST BEARINGS



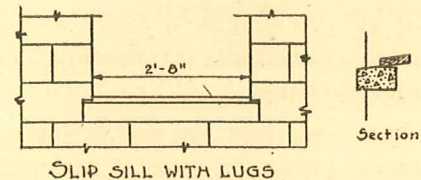
PLAIN LINTEL OR WITH REVEAL



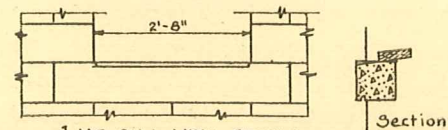
LINTEL WITH LUG & REVEAL
DETAILS OF LINTELS



PLAIN SLIP SILL



SLIP SILL WITH LUGS



LUG SILL WITH STUOLS
DETAILS OF SILLS

TYPICAL DETAILS OF A CONCRETE BLOCK HOUSE

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Construction Detail

The sheet of typical construction details shown on opposite page is a part of that which is issued with every set of plans prepared by the Portland Cement Association. The concrete house is simple and easy to build provided due care and attention is paid to a few essential points.

First of all the wall should stand on a firm and sufficient foundation.

Joists will rest on the top of the ledge formed by the change in thickness from 12 inches for the cellar walls to 8 inches for the walls of the upper part of the building. Where joists are built into the upper 8-inch walls special joist blocks are placed to receive the ends and the joists themselves are set in the slots so formed and "fire cut" at the end.

Lintels in concrete block walls are of reinforced concrete. Some builders prefer to cast these on the ground and hoist and set them in place. Others place temporary wood forms at the top of the openings and fill them with concrete in the walls.

Window sills are of precast concrete and the drawing shows three or four different methods of

making these sills. The slip sill is the quickest and most economical but many architects prefer the lug sills from the standpoint of appearance.

Window jambs should be recessed in order to properly bed the window frame and prevent air leakage around. This is essential in all good masonry construction of concrete, stone, or brick, but in cheaper houses it is often disregarded and the jambs are built straight.

Roof plates should be 8 inches wide instead of 2 by 6 or 2 by 4 in order to cover the open core holes in the block and prevent air currents. They can be fastened down by bolts set in the cores of the block and filled around with concrete.

Stucco should start above the grade line; below this the cement finish should be trowelled smooth.

Eaves should be fire protected with metal lath and cement stucco.

Gable rakes are built up with special triangular block or else by filling the raking steps with concrete as the walls are built up.

Chimney flashings require a narrow strip of metal lath to secure the stucco over them.

OUR HOUSE PLAN SERVICE

Advantage of a Good Plan

The most important part of building a house is very often accomplished before actual construction begins. The economy, comfort, convenience and even the appearance of a house, are largely dependent upon the care and thought employed in devising the plan. A well-planned house is a joy to those who live in it, while one that is badly planned costs as much or more to build and is a continual source of dissatisfaction and annoyance.

The results, both material and aesthetic, which can be secured by intelligent planning, intimately concern every member of a household and are too important to be deliberately neglected. The home is the housewife's laboratory and workshop where the routine so essential to a well-ordered home life is organized and carried on. Therefore, it is logical and imperative that careful consideration be given

to those elements of the plan which simplify and lighten household operations. The welfare of the entire family is improved when proper attention is paid to the details of arrangement and equipment which serve to add to the comfort of the individual. Economy of course must be considered, but too often the opposite is effected when the plan is neglected or when it is the outcome of hurried, unwise or misdirected effort.

Expert Planning Needed

The ability to plan efficiently and well is not possessed by everyone. It is acquired mainly by training and experience. The home owner may easily differentiate between a plan that is positively good and one that is unquestionably bad, but often is at a loss to judge the indifferent or to suggest improvement. Herein lies the chief reason for the

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haphazard planning so often evident in homes of the older type. But the increasing interest in domestic science and the capability of the American woman as a housewife are bringing to the fore the value of efficiency in plan and equipment, with marked improvement in American home building.

The Architect's Service

In the two exceedingly important phases of home building—plan and design—the services of a properly qualified architect are of supreme importance. Reduced to commercial terms, the cost of an architect's services is plain economy, for rarely does he serve but what he makes for his employer a direct, tangible saving in construction costs several times greater than the fee he receives. And as for the intangible economies effected, they cannot be evaluated.

Unfortunately this service is almost beyond the purse of the small home builder and the public is thus deprived of the beneficial influence which good architecture supplies and which goes far to make the homes of the nation attractive.

House Plan Service

The House Plan Service of the Portland Cement Association is designed to remedy this deficiency. Its purpose is to make available the knowledge and experience of the professional architect through the distribution of carefully selected plans representa-

tive of the best modern ideas by many architects of repute. Through this medium good plans are brought within the reach of many who appreciate the value of good design but to whom individual architectural service is not accessible otherwise.

Each plan shown in this volume is one which has been thoroughly tried and not found wanting; this is the true test of its success. Even the architect may learn by experience, and these plans are the result of mature experience on the part of each designer. Each floor plan is substantially similar to that of one or more houses which have actually been erected and in which families have lived.

Our Plans the Work of Prominent Architects

Selections from representative members of the architectural profession from Boston to California are included in this volume, thus insuring a variety of design and a regional adaptation of plan which will suit almost any purse or purpose. There are plans for wide lots and for narrow lots; for any frontage, north, south, east or west; for cottages, bungalows and two-story houses; for farm or city use; for houses with or without basements; in fact, for almost any kind of a small house the prospective home builder may desire. And in case this variety is not sufficient there is issued with every plan a sheet in which is incorporated suggestions for savings in materials or changes in plan that might appeal to the purchaser.

DESIRABLE FEATURES OF A WELL PLANNED HOME

Convenience of Arrangement

Conservation of time and energy are considerations of first importance in the conduct of household operations; consequently convenience is absolutely indispensable. It does not however result accidentally; it is the outcome of thought, care and study.

In the plans included in this series convenience has been made the prime consideration. An inspection of the plans will indicate for instance that

in the majority of cases, the front door can be easily reached from the kitchen without passing through more than one other room; that bed rooms are located close to the bath room and open into a small hallway instead of into the living room directly; that the entrance to cellar stairs is close to the kitchen; that where possible grade entrances are provided so that kitchen and cellar are entered through the same door; that provision is made near the kitchen entrance for the refrigerator.

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These are but a few specific items of a long list which could be enumerated, all of which must be kept in mind if real convenience is to be achieved.

Beauty of Proportion and Design

He who builds a house does not build for himself alone. A house is part of a community; as such it is subjected to continual scrutiny and comparison. The builder of a well designed and beautiful home stands out in the town as a person of taste and good judgment. Artistic effect is very much to be desired also from the standpoint of the owner himself. It adds to property values. In the exterior design of the house it is well to place reliance upon well established types of architecture and not resort to the unusual or the untried. Odd or unusual designs often become tiresome; they are likely to be expensive and inharmonious as well.

The designs shown are all selected in the belief that the beauty of the house lies more in the correct proportions of the design than in the decorations which might be applied to it.

The possibilities of portland cement stucco on concrete block are shown in a variety of architectural modes—Colonial, both Dutch and New England, Italian, California Mission, English and American domestic. The successful treatment in each case indicates that any style can be adapted similarly.

Economy of Space and Material

Economy in the plan of a house should not imply the necessity for sacrifice of convenience or beauty; in fact, the reverse is very often true. There are many houses in use today which call for twice the expenditure for labor and material that would have been required had the plans been revised by a good architect, and this could have been done with no sacrifice of attractiveness of appearance.

Indication of lack of economy lies in an excessive amount of space devoted to hallways and passages. In well planned houses, useless space is conspicuous by its absence. Large storage closets or so-called "child's bed rooms" and "sewing rooms" particularly on the upper floor are often indicative of bad planning, as also are rooms that are awkwardly irregular in shape or manifestly too large for the purpose for which they were designed.

Permanent Materials

The use of permanent materials is always to be recommended, since their use is accompanied by little and often no extra expense at the outset. Permanent construction makes it possible for the owner to secure a larger first mortgage as the greater security justifies a larger loan. Permanent building materials are also effective in reducing the cost of repairs and maintenance of the house, an item of serious import to the average home owner.

Adaptation to Future Needs

In the building of a home it is well to plan for the future. If funds are available, a dwelling adequate for all reasonable needs can be erected at the beginning. Otherwise some type of plan should be chosen which admits of additions being made which will not impair the effectiveness of the original design. It can then be left to acquire dignity and beauty as time goes on.

Well designed houses of permanent construction become increasingly attractive as the years roll by. They are particularly susceptible to the soft mellow tones produced by wind and weather.

Equipment

The success of a well planned house is strongly influenced by the type of equipment installed within it. For example, the plumbing and heating should be the very best which the owner can afford. The electrical layout must be planned for convenience and for the use of the numerous labor saving electrical devices so popular today in the American home.

The Fireplace and Other Interior Features

A fireplace in the living room is symbolic of hospitality and in the mind of the modern home builder is practically essential. Its chief value lies in its cheeriness but it really is a fuel saver during the early fall and late spring days when the economy of operating the entire heating system is doubtful. The coziness and comfort of toasting one's toes at his own fireplace afford a degree of satisfaction never obtained by putting one's feet on the radiator; and the family that has not had the pleasure of sitting around the hearth chatting, reading and watching the glowing embers has never enjoyed to the fullest extent the comforts of home.

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In recent years dining alcoves or breakfast nooks have become deservedly popular, especially in small houses or in houses with small kitchens. There is a certain economy about them for they often take the place of a dining room which is used for less than two hours in the twenty-four the living room being designed to be used also as a dining room when the capacity of the alcove is too small. For families larger than four or five, the breakfast nook is not such an evident convenience.

Porches

The modern tendency is toward a reduction in size of porches and in enclosing them with screens or glazed sash; they are frequently equipped also with radiator heat. A few years ago designers went to the extreme in adding porches to house plans with the result that much area of doubtful utility often was added. Porches today should be built of concrete to save maintenance expense—concrete porches will not splinter, decay or require painting and replacement.

Basements

The inclusion of basements is optional, being largely dependent upon climatic conditions. In most of the plans in this book, a full basement is shown but the size can be reduced to suit individual requirements. In cold regions where, in any event, the footings must be carried to the frost line, the cost of finishing a full basement is comparatively small and the additional space provides a naturally economical location for the heater, fuel and food storage, and the home laundry. Where frost does not go deep enough to affect foundations, the excess cost of the basement is hard to justify. Modern methods of hot water heating make it easy to heat a small building entirely from the first floor.

Flues

Since gas is almost universally used for cooking purposes, flues other than for the furnace and fire-

place have not been shown in every case. However in locations where gas is not available it will be a very easy matter to locate a chimney without materially affecting the plan of the house or the arrangement of the kitchen itself.

Aspect

The aspect of a house will vary according to locality, but, except in very hot sunny latitudes—speaking generally, the chief living rooms in a house should face the south or west to get as much sunshine as possible. The kitchen, being a hot place anyway, needs less sun and it will be much cooler if it faces east or north. In cities, however, regardless of aspect, the chief living room in the house generally faces the street in order that a view of passing traffic may be enjoyed by the occupants.

With the exception of those houses designed for very narrow lots and the house which is specially designed for a north frontage, it will be found that the houses shown in this book are well suited for southern or western frontages and can be easily built on northern or eastern frontages by reversing the plans. Blueprints of the plans reversed can be furnished on special request.

Narrow Lots

Some of the plans have been specially designed for narrow lots, but in any case where the porch is shown at the side of the house, it can be moved to the front or rear in order to place the house on a narrower lot than it is designed for.

Conclusion

It is the desire of the Portland Cement Association and its constituent member companies that the publication of these plans may result in the erection of many comfortable permanent homes and that each home owner may feel in his Concrete House the happiness and comfort which is the birthright of every American citizen.

HOW TO OBTAIN PLANS OF THESE BUILDINGS

Blueprints of working drawings together with specifications and bills of material are available for each of the houses shown in this book. They show the courses of the block and the method in which they are laid, millwork and stucco details and all other particulars needed to estimate the cost of and build the houses shown.

These blueprints, specifications and bills of material or quantity surveys may be obtained at the price of \$10 per set (see order blank on page 35) by addressing the

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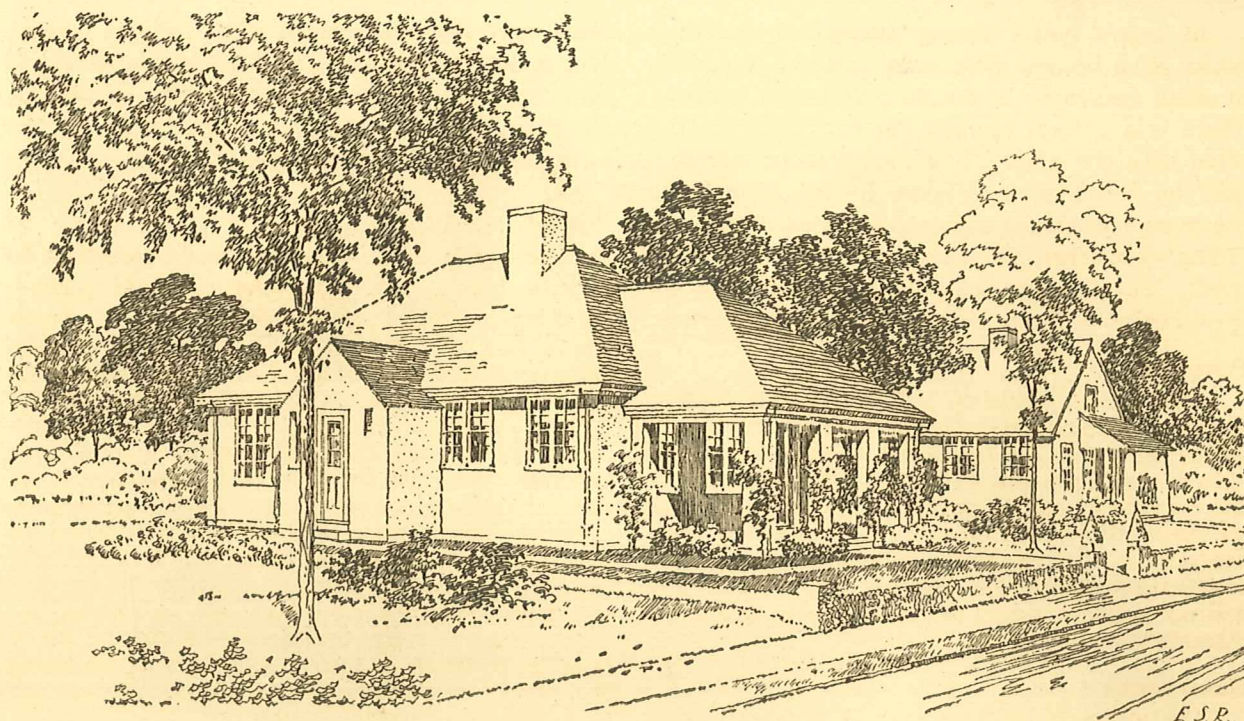
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No. 4101

THE BRAMLEY

Designed by the Housing Company, Boston

A Cozy Bungalow for Suburb or Country

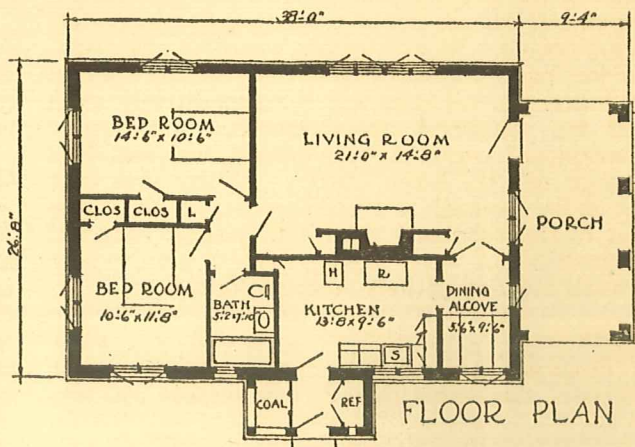
A KNOWLEDGE of modern domestic science has been applied in the planning of the cozy 4-room home shown on this page. So compactly and efficiently has it been arranged that all the conveniences of the up-to-date apartment are to be found in this delightfully cozy, individual home.

The planning is so compact that it has been possible to omit the cellar; a combined modern radiator boiler in the kitchen will provide hot water heating for the whole house with very little fuel. But it would be a simple matter to arrange for a cellar if needed.

The dining alcove is so close to the kitchen as to become almost a part of it and yet is entirely shut off from both kitchen and living room; double doors between kitchen and living room prevent the odors of cooking from getting into the house.

A sink and two laundry tubs are placed in the kitchen and along the side wall of the kitchen such modern contrivances as an electric dishwasher or laundry machine may be set.

The spacious living room has a delightful open fireplace and two convenient closets. A large bed room and a smaller guest room are found at the rear. A splendid porch runs across the front of the house. It can be screened in or glazed if desired.



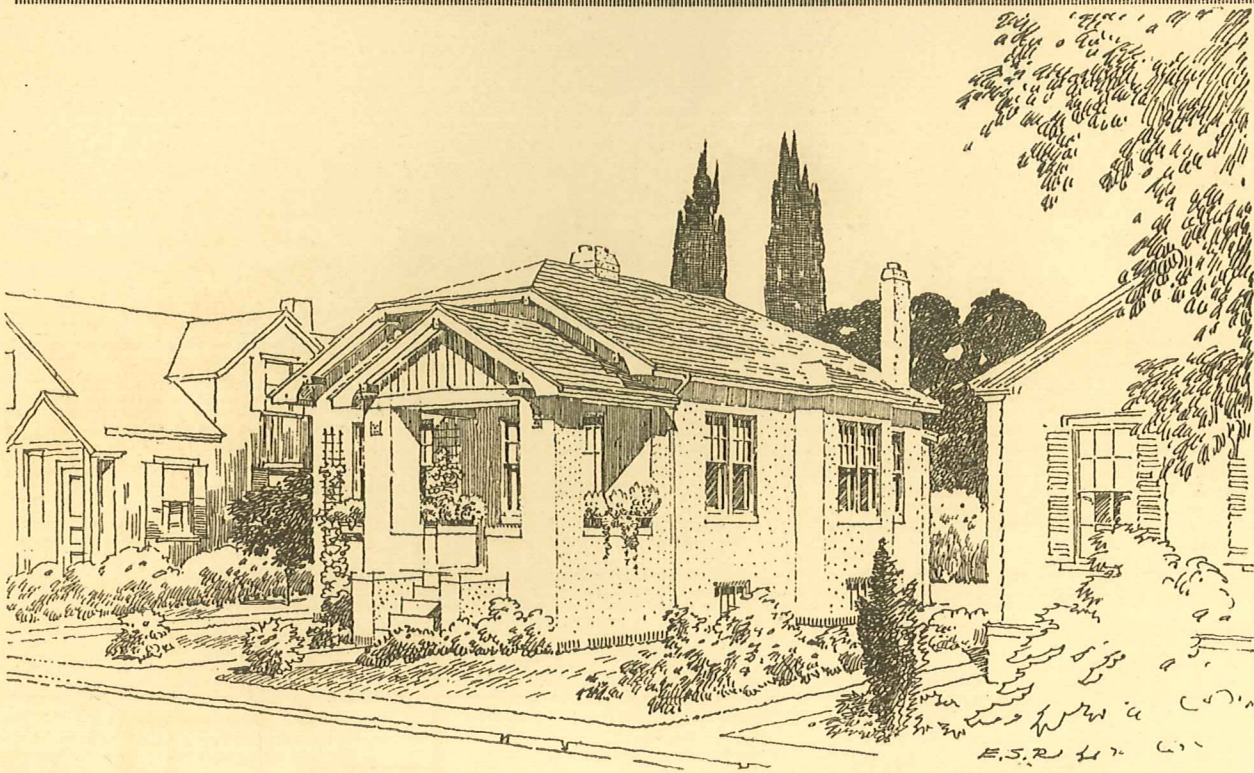
The well proportioned roof gives an air of solidity and dignity to this house that is not found in the very flat pitched bungalows so often built. There is room enough in the roof for one or two bed rooms if desired and a stairway to them could be easily arranged at the end of the living room.

If the roof is covered with fire-resistive cement-asbestos shingles or concrete roofing tile the owner will have a house that is entirely firesafe; it will never give him a moment's anxiety. The cost of maintenance and depreciation on a home of this type is reduced to a minimum.

Nothing could be better for the shore or mountain cottage than concrete block construction, especially when it is remembered that the additional cost over inflammable materials is less than five per cent. Firesafe construction is the best sort of insurance to carry on homes of this kind, removed as they often are from fire fighting service.

The building requires a 35 foot lot and should face south or west.

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No. 4102

THE CROMER

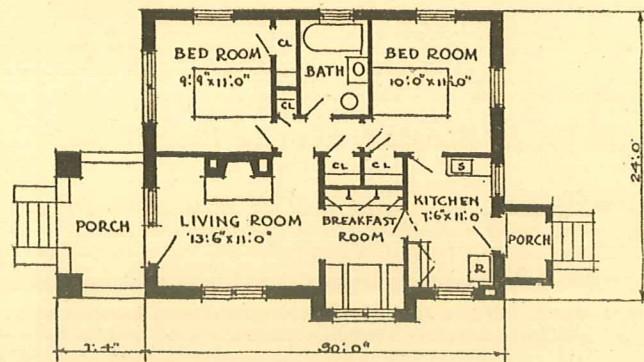
Kane and Sandel, Architects, Chicago

A Low Cost Permanent Home

THIS comfortable four-room bungalow is the type of building that is being built by hundreds of home lovers around big cities like Chicago. Although small and compact, it contains all the comforts and conveniences of the modern home and can be built at a minimum of cost. It is so planned that it can easily be added to, making a larger home as the family grows in size.

From the well shaded front porch with its massive piers and half timbered gable we enter a comfortable living room 13 feet 6 inches by 11 feet, with a good fireplace. This fireplace is not an essential feature of the design and can easily be omitted by those who do not desire it. Instead of a dining room the architects have planned one of the popular breakfast nooks, just large enough for four, with china closets and storage cupboards facing. This leads into the kitchen which has room enough for the work of a small house. There is room for a small work table by the side of the sink and plug for ironing board will be placed on the inner wall. In houses of this kind it is usual for all meals to be taken in the breakfast room, except when entertaining and they would then be served in the living room.

The sleeping rooms are shut off from the living rooms by a small lobby. There are two bed rooms of ample size. Each is lighted with windows on two sides, insuring cross ventila-



FLOOR PLAN

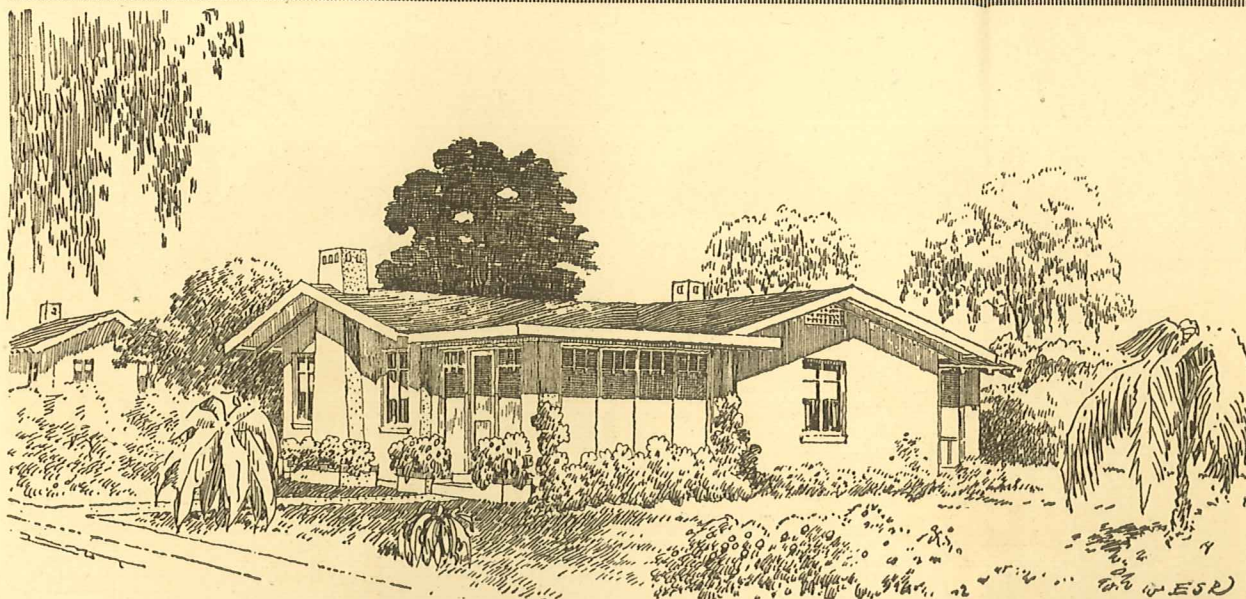
tion, a great comfort on hot nights. Between the bed rooms is a well planned bathroom. There is a fitted linen closet and three good clothes closets.

The house has been planned with a full cellar containing fuel and boiler rooms, a good laundry, work shop and fruit storage closet. The cellar is entered by steps under the rear porch. If desired the basement can be omitted as this small home can easily be heated by a modern combined radiator and boiler placed in the kitchen and the laundry tubs can be placed next to the kitchen sink.

In the rear daylight entry some useful shelves can be put up and a refrigerator will be placed here away from the heat of the stove and where the iceman will not have to enter the kitchen to fill it.

The trellis work shown on the front walls and the treatment of the roof gables will give this house a very charming appearance. It occupies an extreme width of 26 feet and should be preferably on a lot at least 35 feet wide. It is planned for western or southern exposure.

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No. 4103

THE SIERRA

Edward Glass, Architect, San Francisco

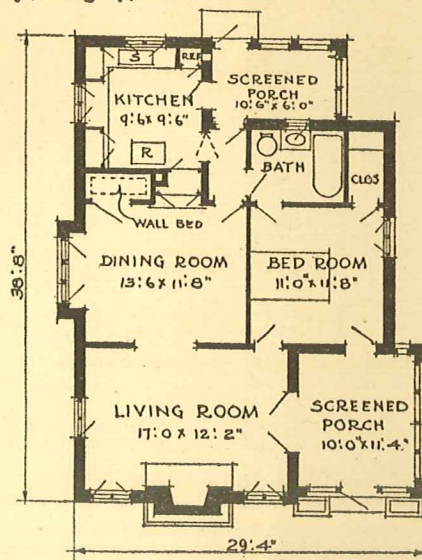
A Typical Bungalow from the Pacific Coast

COOLNESS and comfort were the chief considerations that influenced the design of this small bungalow. It was recently built near San Francisco and is typical of the comfortable homes designed for small families in California. This home should find favor with those who like the fresh air of outdoor life. Its spacious screened porches at front and back will be specially attractive.

The low pitched roof, wide shady eaves and the fireplace chimney in the center of the front wall are typical of the western bungalow type of design. It is just the thing for the couple that entertains a good deal during the day, as the living and reception rooms are large and well planned and there is only one permanent bed room.

The house is entered from the large screened porch in front and with the large enclosed porch there is no need of a vestibule. The porch opens through French doors into the living room which has a cheerful fireplace. The dining room is of ample size and is equipped with one of the useful modern wall beds concealed in the closet giving extra sleeping accommodation for guests. It has a good china closet with doors on either side so that it can be opened from kitchen as well.

The attractive equipment of the kitchen will make it a pleasant and very effective workshop. It is shut off from the rest of the house to keep cooking odors out of the living rooms. There is a fine kitchen cupboard along one wall with window opening in the center. On the next side comes the sink, well lighted from windows directly above, and beyond this is the refrigerator space with outside icing door. On the screened porch at rear, family meals will often be taken and a good deal of the kitchen work done.



FLOOR PLAN

The one bed room is 11 feet by 11 feet 8 inches and adjoins the bath room. It also opens directly onto the front screened porch where couches and hammocks will afford additional sleeping accommodation.

Ventilating openings are arranged in the roof in order to insure thorough ventilation and coolness in hot weather.

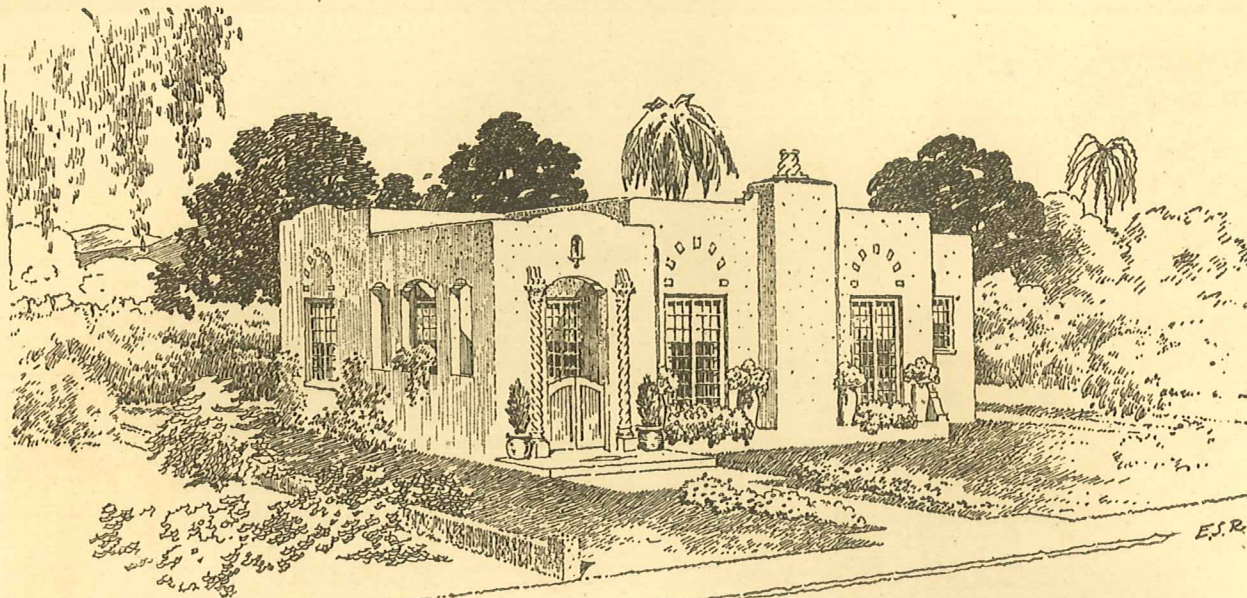
The house has an extreme width of 31 feet and should be placed on a lot not less than 45 feet wide if it is desired to plan a driveway to a garage in the rear.

There is no cellar planned—but if one is needed it can be entered by stairs from the rear porch.

It would be easy to enlarge this design for those who need more sleeping accommodations by adding one or two bed rooms at the rear and moving the kitchen porch to the back of the kitchen.

Because this is a comfortable home, modern in every detail, it will afford both pride and comfort to its owner no matter whether it is built on a city lot or in a fragrant setting of shrubs and trees on the country or shore estate.

CONCRETE HOUSES



No. 4104

THE SANTA BARBARA

J. T. Pomeroy, Architect, Chicago

A California Mission Bungalow

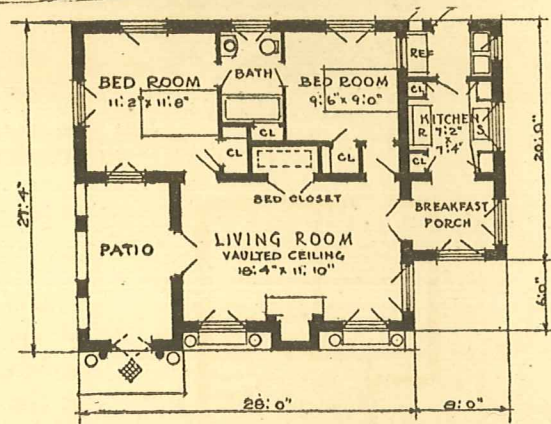
THE popularity of the Spanish Mission style of design is readily understood when the details of this charming mission bungalow are studied. The simplicity of this ivory stuccoed, flat roofed bungalow against the luxuriant foliage of California or Florida will be charmingly seen. The plan itself is a model of compact, convenient layout.

Entering the open patio through a wooden gate we find ourselves in a walled enclosure, open to the sky; furnished with garden furniture and plants in pots, this will be a delightfully private, out-of-door room.

From this we enter the large living room; a well proportioned apartment with vaulted ceiling and a fireplace that gives promise of many happy hours. From the center of this room you will notice five points of interest. The long windows with built-in flower boxes and small window panes will frame delightful vistas of outdoor scenery. Between them is the fireplace which the architect has designed with unusual charm and skill. The arched ceiling gives a distinctive note. The bed closet containing one of the useful wall beds will be just the thing when entertaining visitors. Two fine pairs of folding doors lead onto the patio and the breakfast porch.

The kitchen is separated from the living room by the breakfast porch so that no odors of cooking will enter. This porch is large enough for three or four people, but meals of ceremony will be taken in the living room.

The kitchen is designed as a work shop pure and simple and is cut down to the smallest possible dimensions. Very few steps will be required by the housewife to do the housework. Two steps from the center of the room will reach any of the kitchen fixtures. There is a sink under the window with large drain board and closets to each side and also below. On the opposite wall is the kitchen range, broom closet and cupboard for pots and pans. The refrigerator and laundry



FLOOR PLAN

tubs are on the outside porch, the refrigerator having an outside icing door. Some of the kitchen work, ironing, etc., would be done on the table of the breakfast porch.

There are two bed rooms with bath room between. The principal bed room has windows on three sides.

The flat roof is of reinforced concrete and is kept cool by an insulating ceiling of wire lath and plaster suspended below the concrete slab.

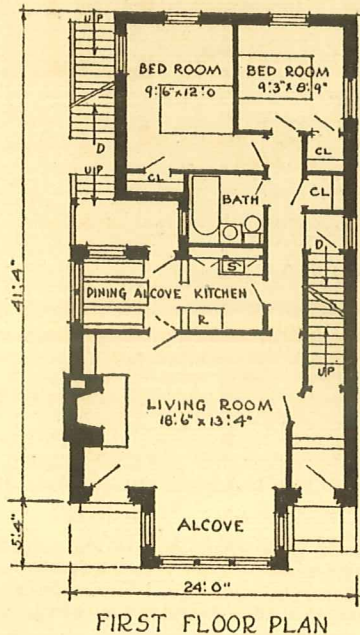
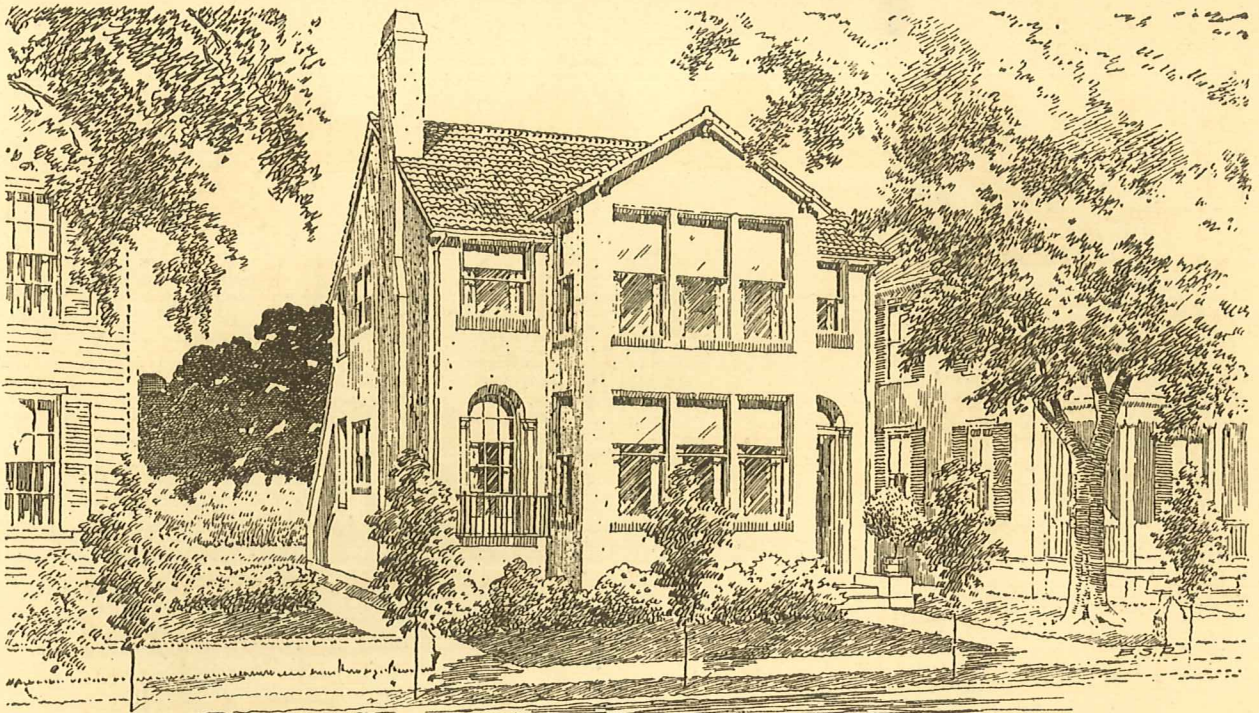
The rich detail of the front entrance and the urns and flower boxes on the front walls contrast very pleasingly with the plainness of the rest of the structure. The delicate outline of the arches of the patio adds to the beauty of the composition.

This small house can be used as the nucleus of a larger house of the same design by building a room corresponding to the living room on the other side of the patio with another pair of bed rooms and bath room behind.

No cellar is provided in this design but could easily be arranged for, if needed.

The house occupies a width of 36 feet and should be placed on a lot not less than 45 feet wide. It could, however, be built with the end facing the road and then a 35-foot lot would be sufficient.

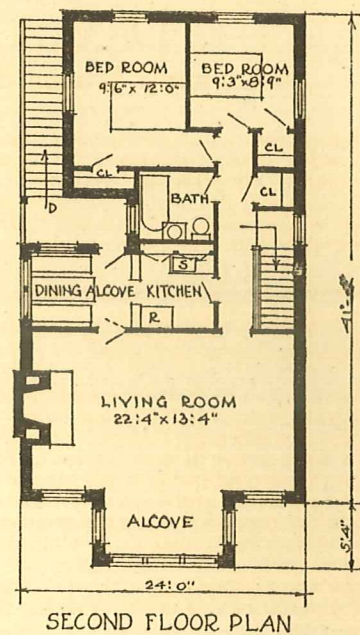
CONCRETE HOUSES



This plan was selected by the committee of architects to be built at the 1922 Chicago "Own Your Home" Exposition.

No. 4201
THE SOUTHSORE
Henry K. Holsman, Architect, Chicago

A Home That Pays for Itself



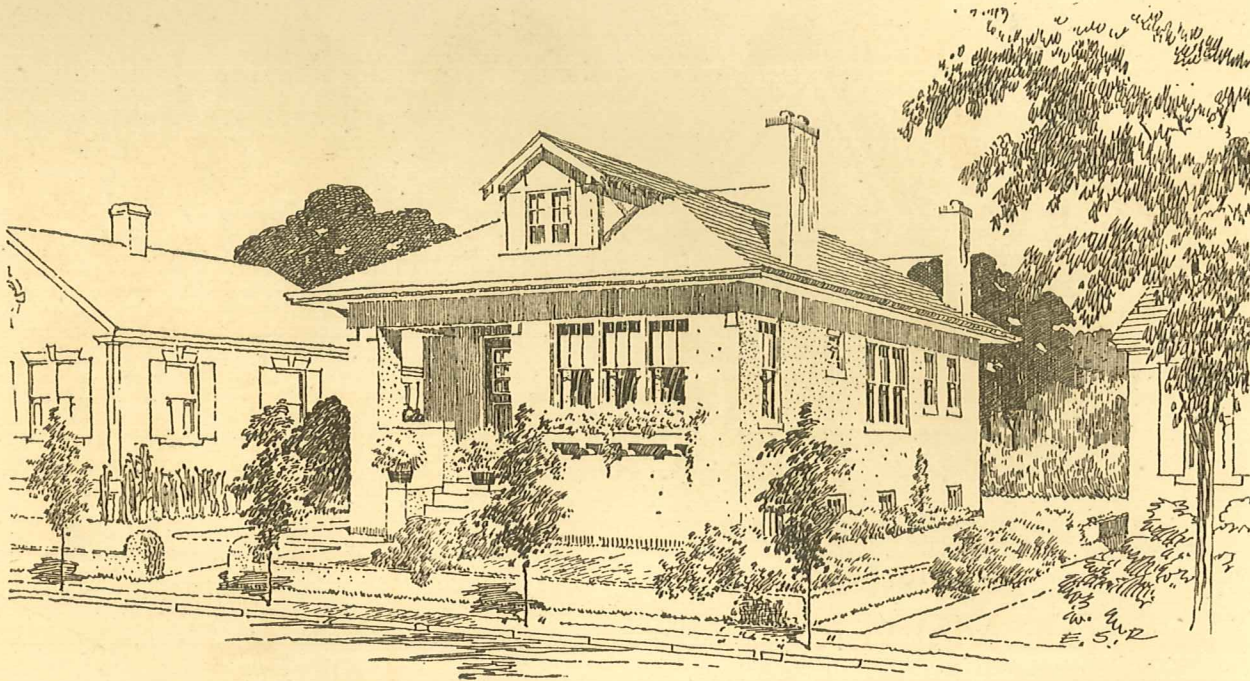
THIS cozy duplex home will make an irresistible appeal to the apartment house cliff dweller. It combines the conveniences and compactness of the modern apartment with the freedom, comfort and financial saving of a home; for, after a moderate first payment, the cost to the owner of completing the payments and paying taxes will be very little more than the rent secured from the tenant of the upper apartment, while the owner makes his home below.

On both first and second floors we find in front a large living room with a fine sun porch. The living room is large

enough to contain a folding davenport bed if extra accommodations are required. At the rear of the house are two bed rooms, each with cross ventilation. Off from the living room is the small kitchenette with dining alcove that has proved so popular in the modern apartment. A small roofed porch beyond the kitchen forms a rear entrance for tradesmen.

This plan is a model of compactness and the well proportioned gable over the sun-porch gives it dignity and an imposing appearance in any street without disclosing that it is a duplex apartment.

CONCRETE HOUSES



No. 5101

THE DEARBORN

Robert L. Kane, Architect, Chicago

A Well Planned Suburban Home

THIS five-room bungalow plan is only 24 feet wide and can be placed on a lot 35 feet or more in width. It is designed for a southern or a western frontage.

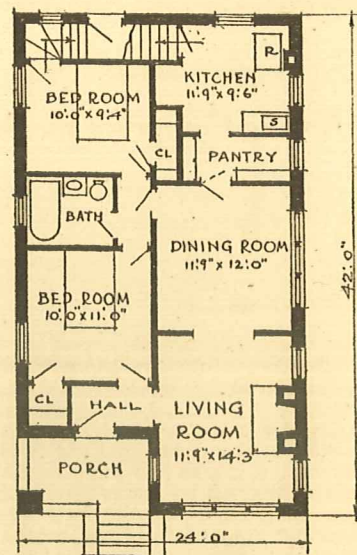
If you want to build a home that is as pleasant to look at as it is comfortable to live in and is yet well within the means of the city wage earner, there is none better than "The Dearborn." It was designed by a Chicago architect and has proved very popular in Chicago suburbs.

The front porch is part of the house. The main roof extends over it and makes it part of the main structure. It has a concrete floor and steps and, although it is shown open, it can be enclosed and glazed if desired, making a permanent sun parlor.

From the porch we pass through a small reception hall or lobby into the living room. This has a front bay with windows on three sides giving the effect of a sun parlor and insuring that the living room will always be bright and cheerful. There is an inviting brick fireplace shown and beyond this is a good sized dining room.

Some will prefer to make one long room of the dining room and living room shown and enlarge the space marked "pantry" into one of the popular breakfast nooks.

From the dining room we pass through a pantry with double swinging doors into the kitchen. The pantry is well fitted with shelves and closets and the kitchen has a well placed sink and room for range and work table. From the kitchen stairs go down to the grade entrance and continue down to the cellar.



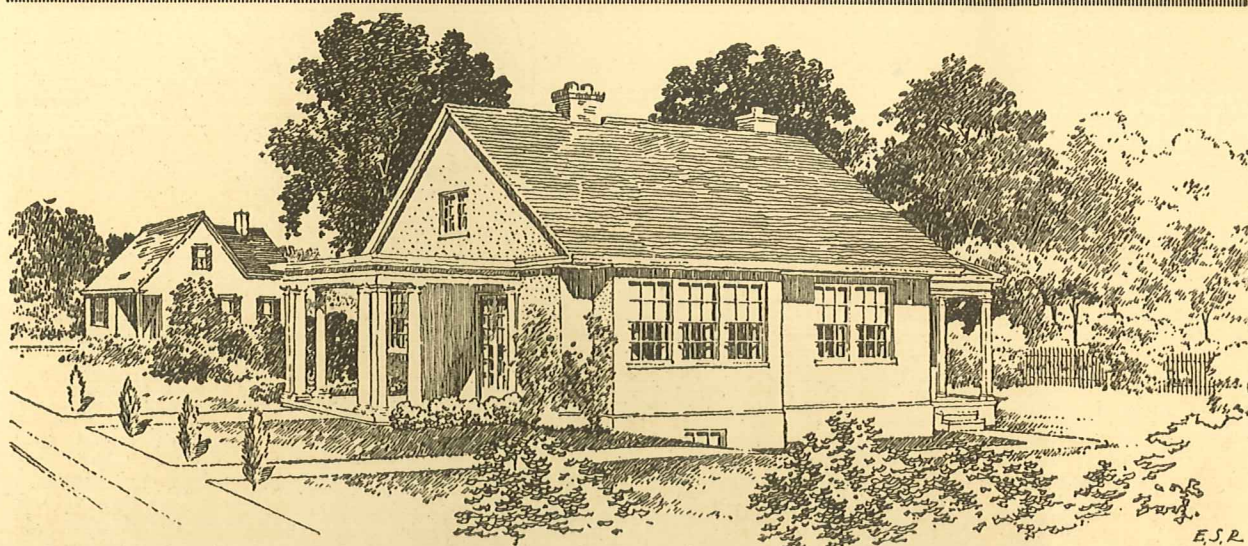
FLOOR PLAN

A full basement contains a good laundry and work shop and a boiler room and coal bin shut off from the rest of the cellar.

There are two good bed rooms on the west side of the house with bath room between. They are shut off from the living quarters by an enclosed lobby. The front bed room can also be entered direct from the reception hall, a great advantage where this room is sub-let to a lodger. The rear bed room has a flight of stairs up to an unfinished attic.

The economy of this house lies not only in its first cost but in its low maintenance expense. There is nothing perishable on the outside of the house except the window sashes and frames; with a short ladder all the outside woodwork can be repainted by the owner in one afternoon.

CONCRETE HOUSES



No. 5102

THE MALVERN

Dreher, Churchman and Paul, Architects, Philadelphia

A Cozy Cottage for the Small Family

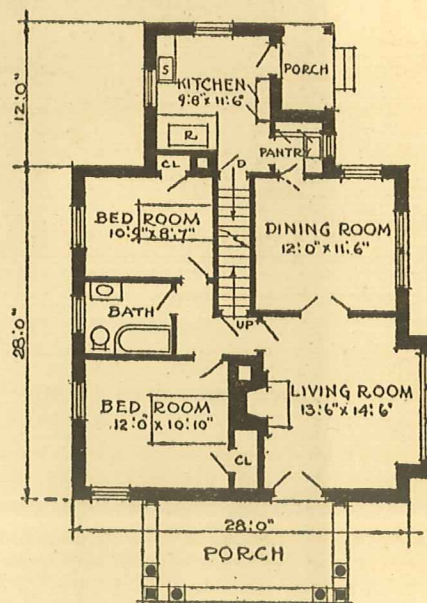
IT IS just as important for a home to have personality as for its owners. This five-room bungalow designed in the style of the eastern Pennsylvania cottage not only expresses a personality of its own but indicates genuine comfort too. It is compact and well planned and will make a comfortable home.

This house will be economical to build. The square, simple character of the plan means efficiency in labor and no waste of material.

A glance at the exterior shows that there is nothing expensive about the design and yet it is decidedly effective. The large gable gives a size and character to the front that is not often possessed by flatter roofed suburban bungalows. The graceful wood columns of the front porch with the good architectural proportions of the cornice will give an air of dignity to this house that is hard to duplicate. The architects desire to have this house set low in the ground by grading up with excavated material around the front and sides so that the front porch is almost level with the street. This helps to produce the snug effect that adds to the charm of the English and French country cottages.

The living room is entered direct from the porch through folding French doors and has a fireplace and triple window set into a square bay, large enough to place a davenport in. The fireplace is on an inside wall to ensure maximum conservation of heat and the cellar flue is in the same stack. The architects have designed a white pine mantel with brick linings and hearth that will greatly enhance the appearance and comfort of the room. Those people who do not care for a fireplace can, however, easily omit this and arrange a cellar flue alongside the kitchen flue at the rear. The dining room just beyond is connected by folding doors.

Those who prefer one big living room will find that by combining dining and living rooms, omitting the dividing partition,



FLOOR PLAN

they will have a fine room over twenty-six feet long by more than twelve feet wide—just the place for impromptu evening dances and other gaieties.

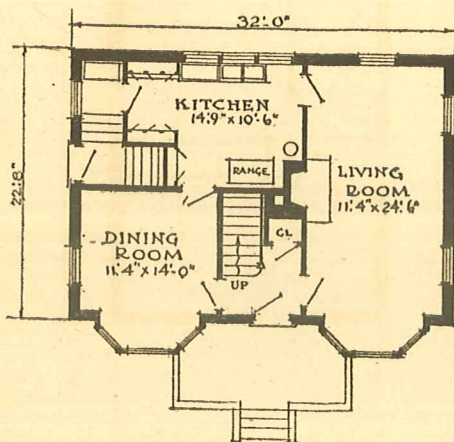
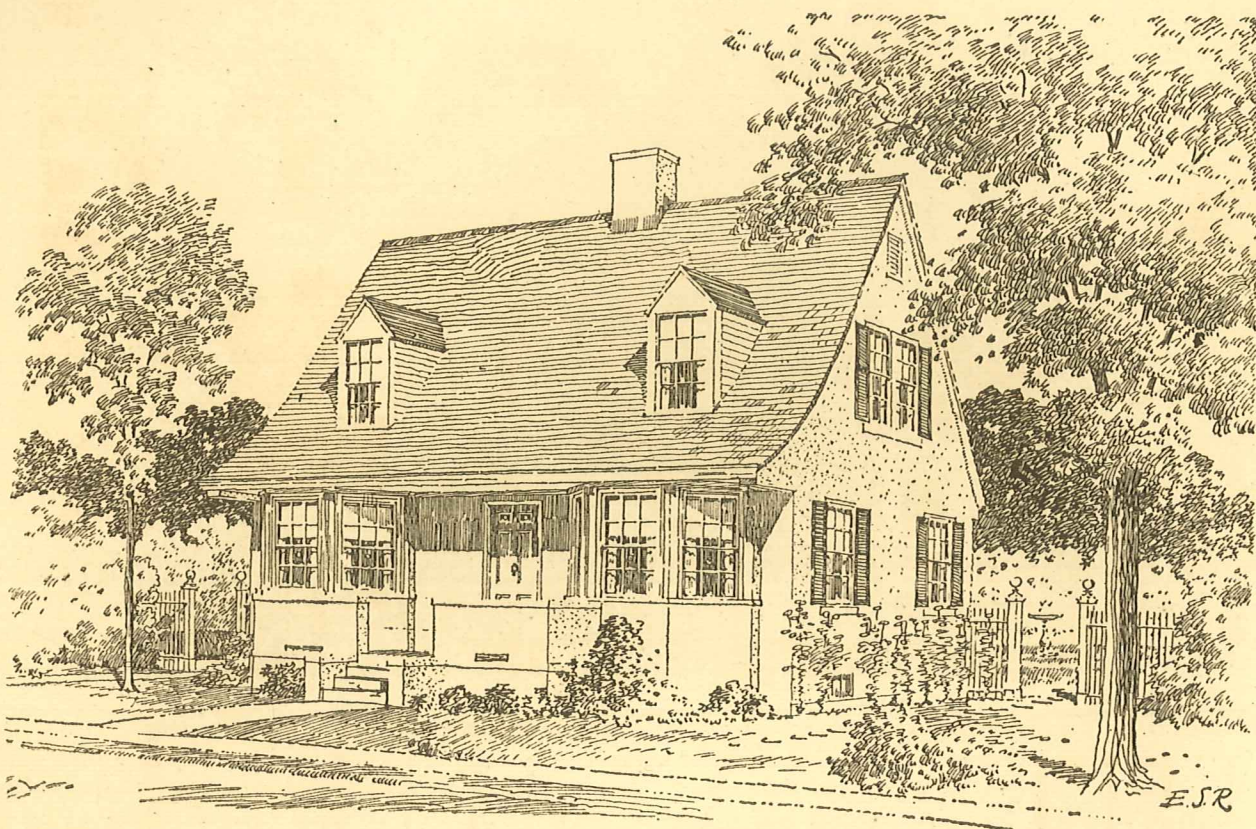
Through a service pantry we pass into the small kitchen which has a rear porch under the same roof. The refrigerator could be placed on this porch or could be set in the pantry with a door for outside icing.

The front bed room has cross ventilation and between this and the rear bed room is the bath room. They are shut off from the living room by a closed lobby and from this, stairs go into the attic, which is shown unfinished. It could be fitted as a play room or used for storage space or additional bed rooms.

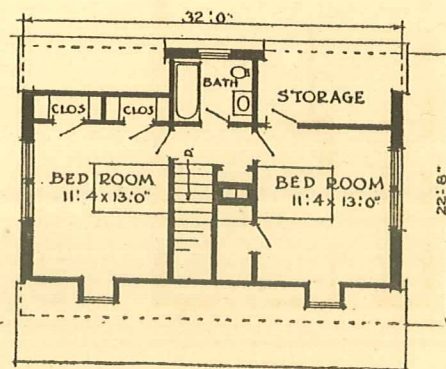
The cellar contains laundry, fuel and boiler room, storage closet and space for work bench.

The width of the building is 25 feet and it could stand on a lot 35 feet or wider. It is designed for a western or southern frontage. If placed on a lot facing north or east, the plan should be reversed.

CONCRETE HOUSES



FIRST
FLOOR
PLAN



SECOND
FLOOR
PLAN

No. 5201

THE HOLMWOOD

Designed by The Housing Company, Boston

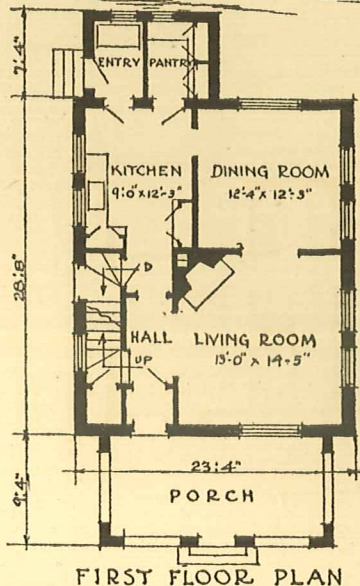
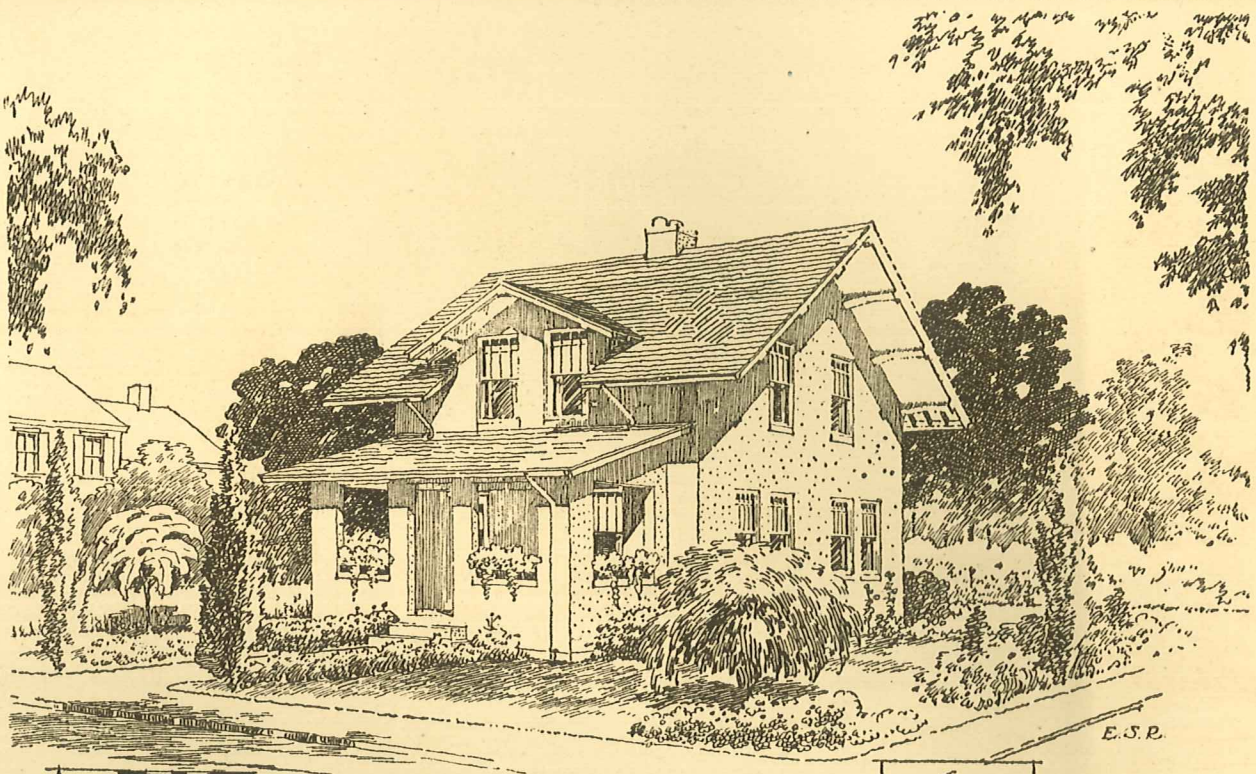
An Ideal Five Room House

THIS five-room house, of English type, represents a maximum in comfort, space and beauty for a minimum cost. Entering the hall, we pass into a long living room with a fine fireplace and windows on three sides. On the other side of the hall is a dining room with a good kitchen leading from it. The rear entrance and cellar steps lead from the kitchen.

Upstairs are two good bed rooms lighted on both sides, both having good closets.

This house will look equally well on the wide suburban lot, a narrow city street or as a country home in the woods. Its lines would harmonize with any environment. It needs a 40 foot lot and should face south or west.

CONCRETE HOUSES



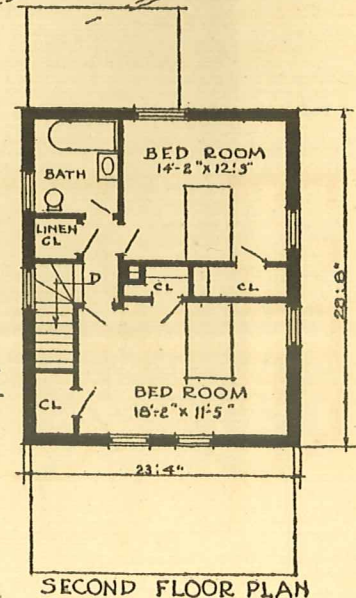
This plain, simple, sensible house, will suit many a sturdy American family that does not desire a showy house but requires a real home.

No. 5202

THE MORGAN PARK

Dean and Dean, Architects, Chicago

A Western Home



THIS house was designed in the western style for the residential suburbs of Duluth. It has proved to be very satisfactory. It is inexpensive and compact. The heavy overhang of the roof, so typical of western design, gives an air of warmth, security and comfort to the home.

The roomy bed rooms are well planned, each has cross ventilation and the placing of the closets between the two rooms helps to prevent passage of sound between them. There is a well fitted and large linen closet and a bath room of comfortable size.

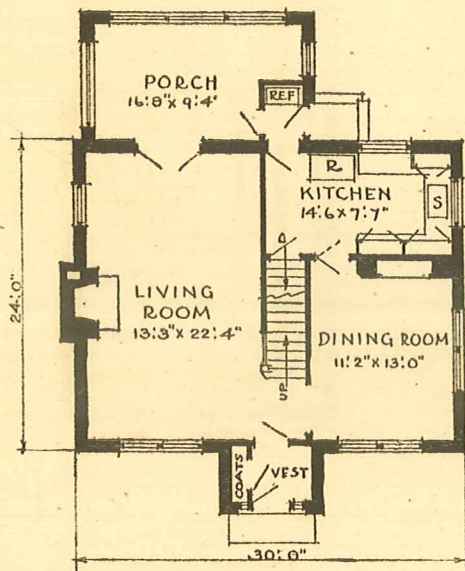
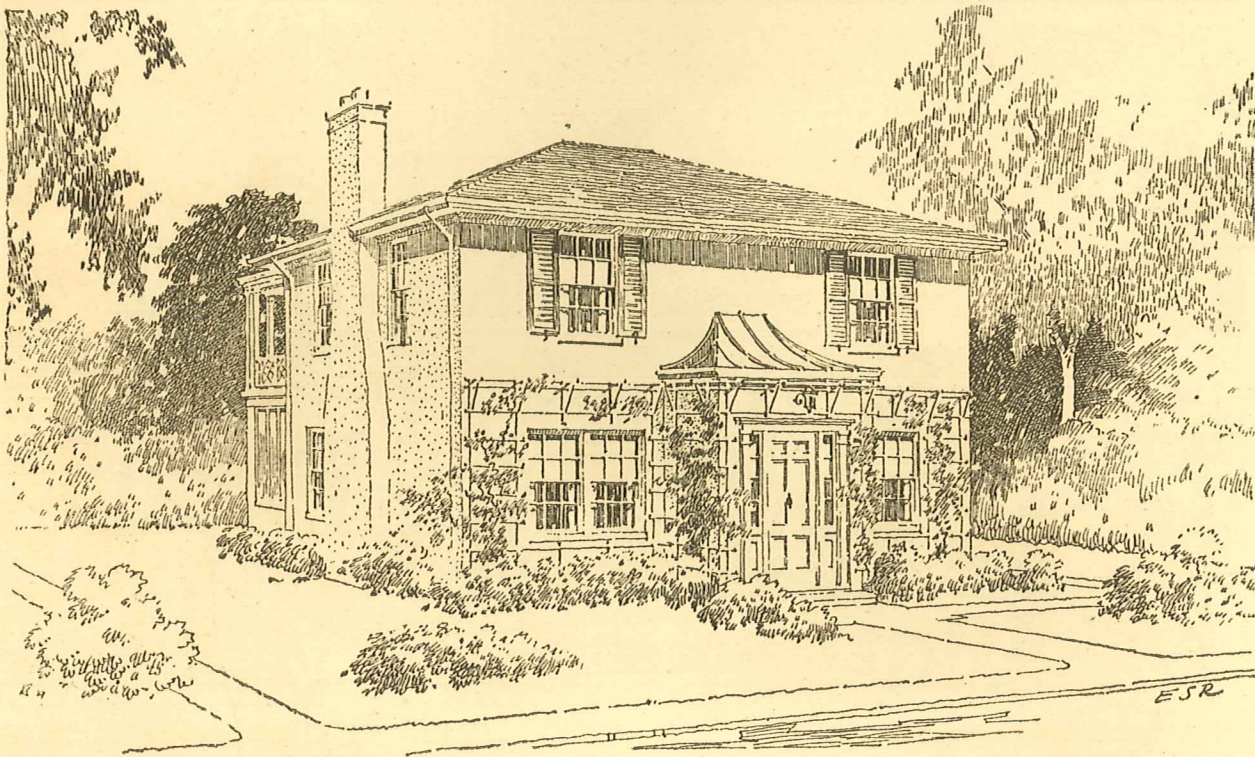
Downstairs there is an entrance hall which can be entered direct from both kitchen and living room. It contains a coat closet on the first floor landing. The living room is 13 feet by 14 feet 5 inches and has a corner fireplace for which the

architects have designed a handsome brick mantel. It opens through archways into dining room and hall. Some people may prefer to make a larger living room by throwing hall and living room into one and either omitting the fireplace or building it on the central partition. Another variation would be by combining living room and dining room. Either of these changes can easily be made at a slight saving in construction cost.

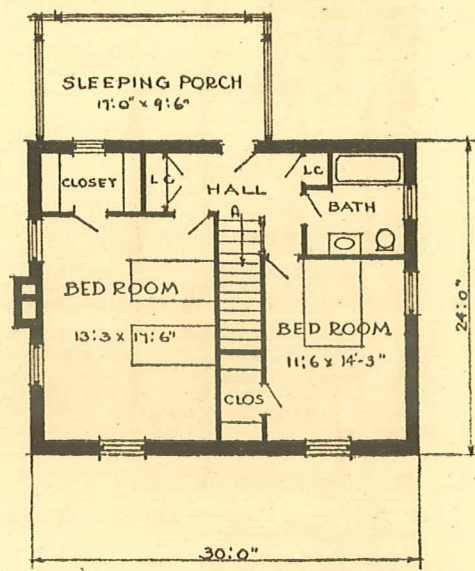
The kitchen is well supplied with closets and has a pantry and rear entry under a lean-to roof at the back. Those who do not require pantries could make this into an open, screened porch. The front porch can easily be screened or glazed.

The house is 24 feet wide and should not be built upon a lot less than 35 feet in width, facing south or west.

CONCRETE HOUSES



FIRST FLOOR PLAN



SECOND FLOOR PLAN

No. 5203

THE SHALFORD

Don A. McLaren, Architect, Minneapolis

A Commodious Colonial Home

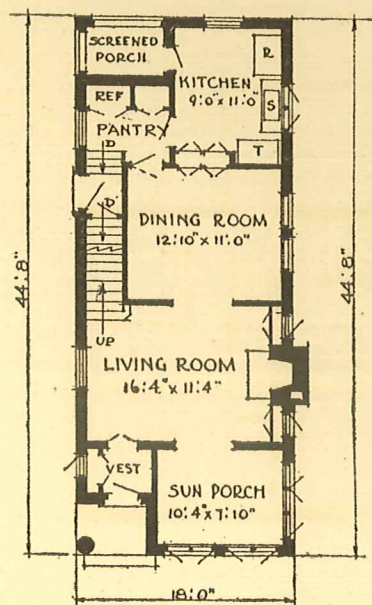
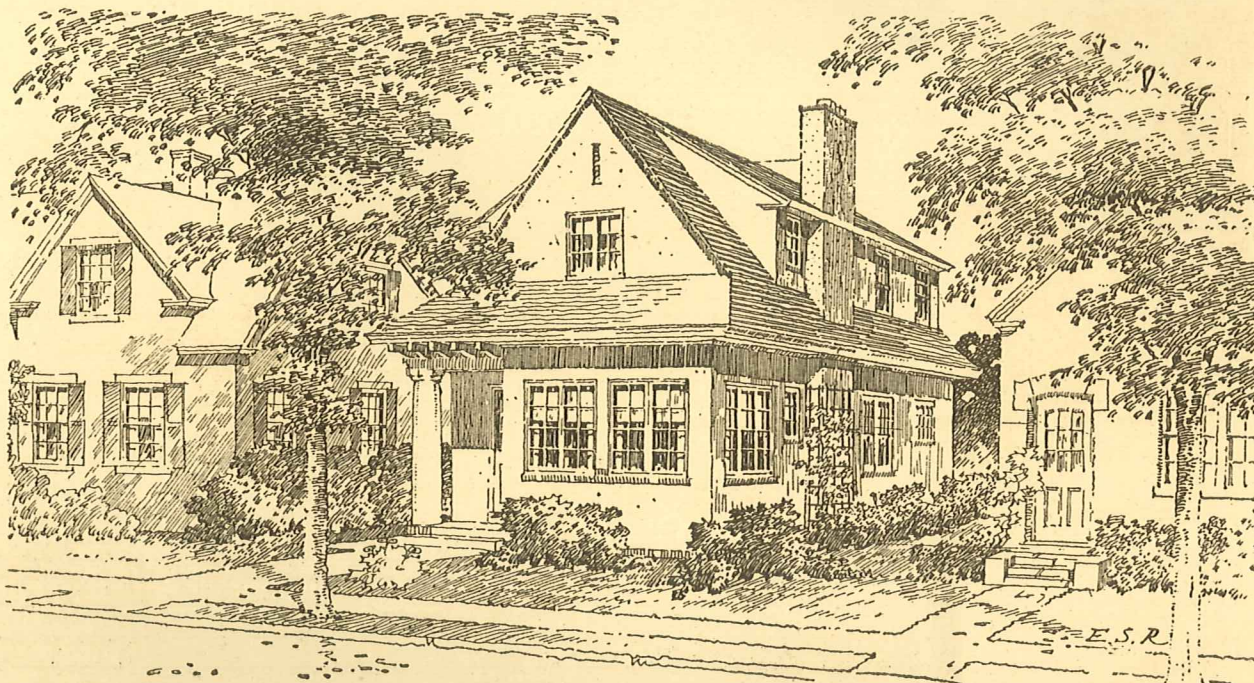
THE plan of this house is of the popular colonial type, containing living room the full depth of the house with fireplace on one side and dining room and kitchen on the other. The width of the house is 31 feet. It should be placed on not less than a 40 foot lot and is designed for east or south frontage.

Upstairs are two large bed rooms, one of which can be

divided into two if desired. In the rear of the house is a fine, screened porch with sleeping porch above.

The skillful handling of the colonial details of design calls for special comment. The front entrance in particular with the curved hood and trellis around, gives a striking and individual appearance that cannot fail to please.

CONCRETE HOUSES



FIRST FLOOR PLAN

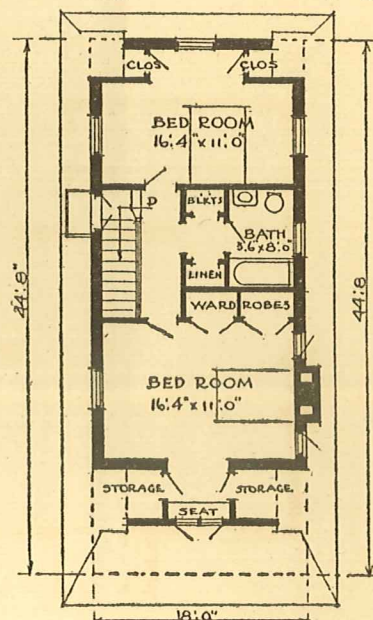
Light and air on three sides of all the principal rooms, fireproof construction, artistic design, low maintenance cost—an ideal solution of a common city building problem.

No. 5204

THE GLASTONBURY

J. T. Pomeroy, Architect, Chicago

A Delightful House for the
Narrow Lot



SECOND FLOOR PLAN

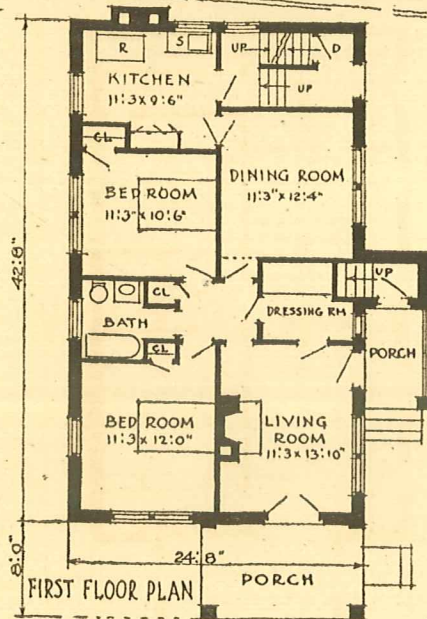
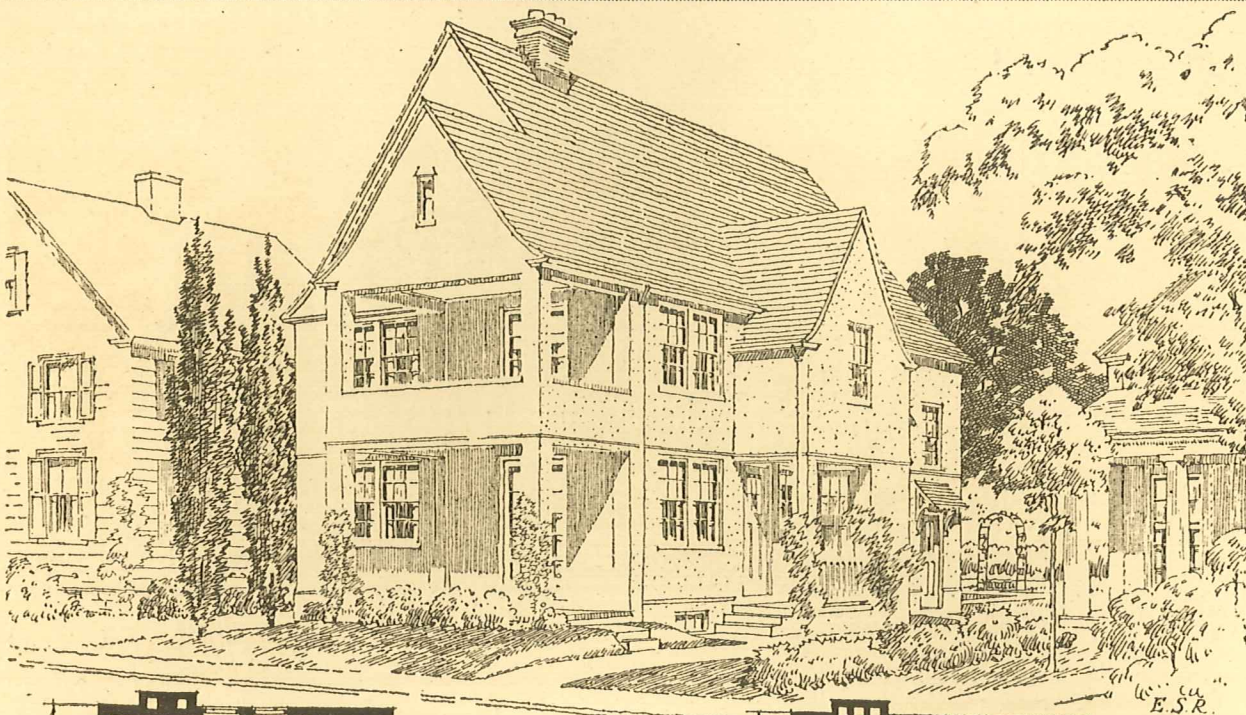
THIS Dutch colonial house can be placed very comfortably on a 30-foot lot and can even be used on a 25-foot lot without crowding. There is a real art in making a slender house look well proportioned inside and out. Three features save this house from having a pinched look; first it is built close to the ground; second, it has lawn on both sides, and third, the skillful handling of the red asbestos shingle roof, particularly the broad expanse over the front entrance and sun parlor. This distinctive elevation with the steeply pitched gable will make it stand out from its commonplace neighbors.

It is remarkable what spacious rooms the architect has been able to contrive in this small home. Entering a small vestibule containing a good clothes closet, we pass into a living

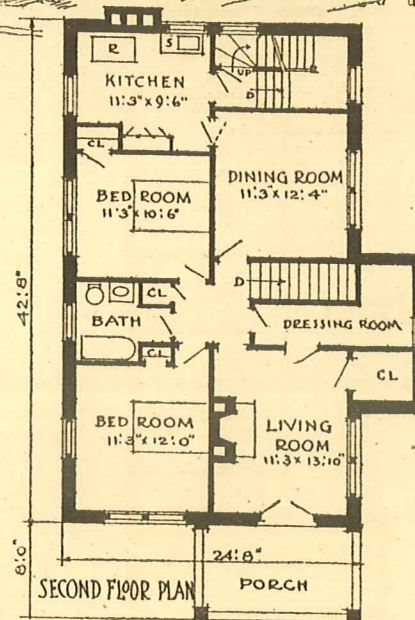
room the full width of the house with fireplace and bookshelves at the further end. Opening onto the living room is a splendid sun porch with bay windows that give a fine view up and down the street. The stairs ascend from the other end of the living room. Through a cased opening we proceed into a comfortable dining room. Beyond this is the small kitchen with room for a breakfast table in the far corner, if desired. A screened porch opens from the kitchen at the rear.

Upstairs two fine bed rooms extend the full width of the house, each with windows on three sides. Between them is a well planned bath room. The alcove nook in the front bed room has a built-in window seat which may be used as a cedar chest.

CONCRETE HOUSES



No. 5208



THE PENZANCE

Dreher, Churchman and Paul, Architects, Philadelphia

A Double House of Distinctive Design

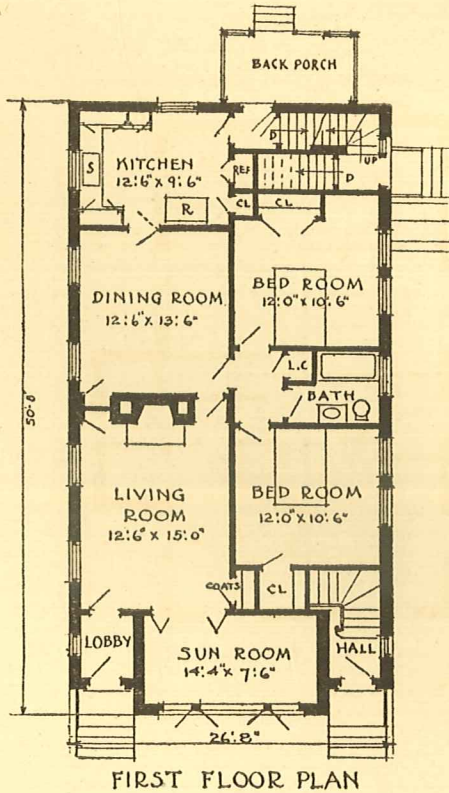
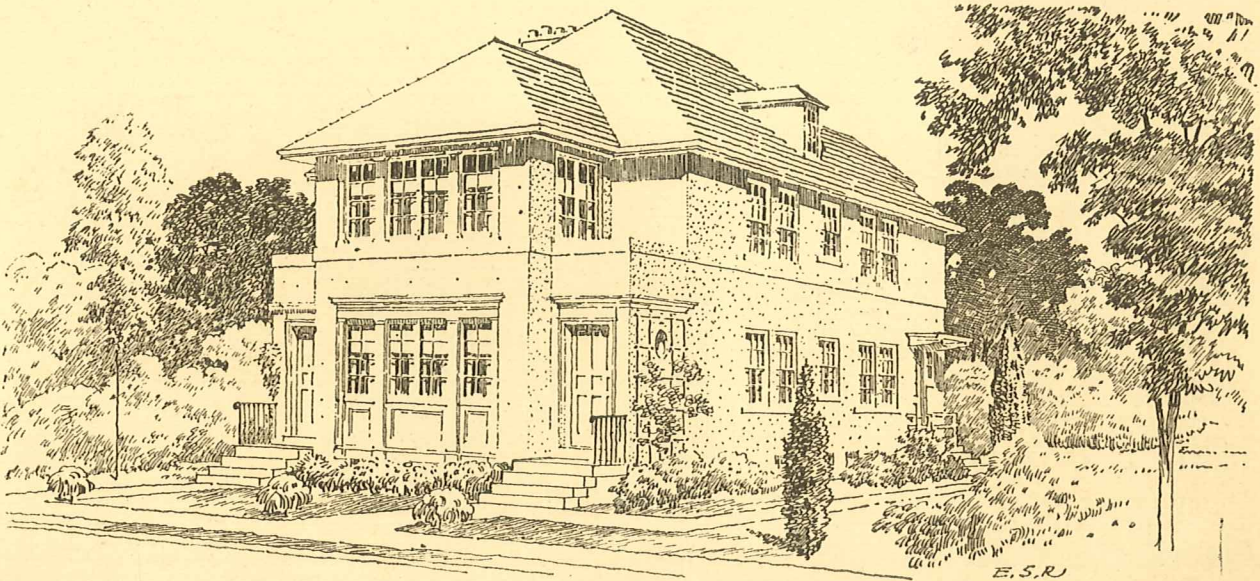
THIS fine looking example of a two-apartment house, designed for a Cleveland real estate development, has proved very successful. It can be placed upon a 35-foot lot. The high pitched gabled roof of English type gives it a distinctive appearance that will please in any locality. It is designed to face west or south.

Besides two good bed rooms, each apartment has, adjoining the living room, a dressing room with space for a disappear-

ing bed. The rear stairs are enclosed and the large unfinished attic provides good storage space or can be finished as additional bed rooms.

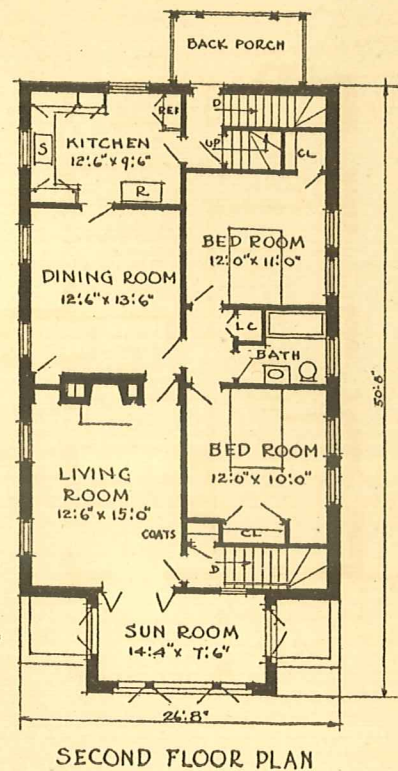
This type of house always finds a ready purchaser as the owner can live downstairs and rent the upper part for a sum sufficient to pay the carrying charges on the house and pay off the mortgage.

CONCRETE HOUSES



The rent of the upper floor will be sufficient to pay carrying charges on this whole building while the sum that the owner would pay for rent can be applied to paying off the mortgage

No. 5209
THE WINTHROP
 Gordon Robb, Architect, Boston



A Well Planned Duplex House

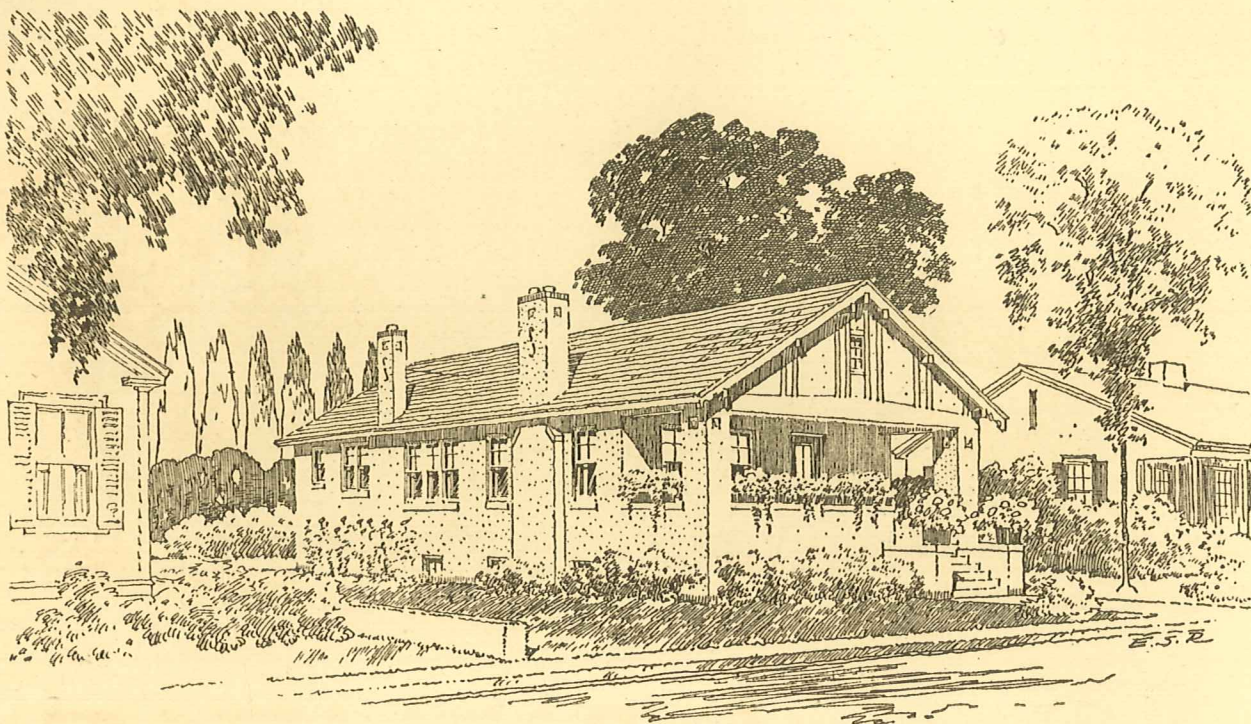
BUILDERS who use attractive designs like the Winthrop find that the value of the finished property is very much more than the slight extra cost required to build them, particularly if built in fire resistive construction.

In this fine two-family house the upper and lower apartments have separate entrances insuring a maximum of privacy. The living room is entered through a convenient lobby and contains a fine fireplace. A large sun porch in front of each living room gives abundance of light and air. A deep archway leads into a dining room of ample size and from this a small

lobby leads to the two bed rooms and the bath. The kitchen in the rear is fitted up with convenient cases and counters. The rear stairs are enclosed and a good sized porch opens from them.

The attic space is unfinished but stairs leading up to it make it available for storage or it can be finished and used as a work shop, play room or additional bed room if dormers are cut in the roof. The cellar is divided into two and individual heating plants are run by each tenant. The building is only 27 feet wide and could be built on a 40-foot lot.

CONCRETE HOUSES



No. 6101

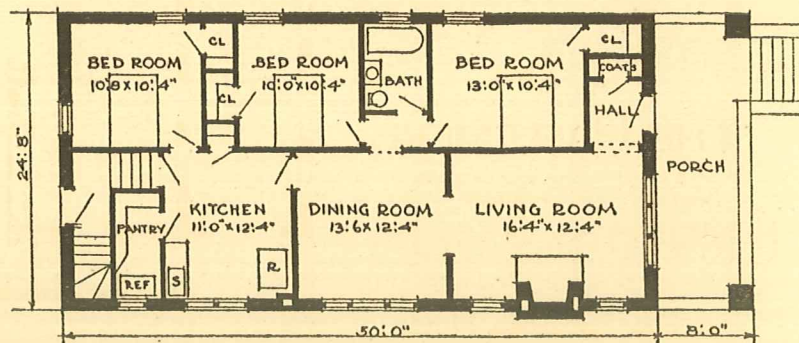
THE REIGATE

Robert L. Kane, Architect, Chicago

A City Bungalow for a Narrow Lot

PEOPLE who have to count carefully every dollar that goes into the building of their home must of necessity plan so that everything needed is arranged in the smallest possible space. The construction must be simplified so that labor and material are reduced to a minimum. Care and thought spent in designing that will reduce the amount of cutting and fitting at the job mean big economies in the labor cost. It costs no more to build an attractive house than an ugly one. Good architecture is achieved by proper proportioning of roof and walls, careful design and spacing of windows rather than in addition of applied ornament. The plain and simple lines of The Reigate are a good example of these principles. The long straight lines of the roof are pleasingly broken by the chimney stacks. Their red brick capping and wrought iron staybolts will make a pleasing contrast with the white stucco walls and the red or gray of the roofing. In addition to this the architect has introduced small insets of colored tile on the porch piers and chimneys that give an unusual touch of color to the house.

The roomy front porch extending the full width of the house will be found plenty large enough for the porch swing and chairs, and the end can be fenced off for children without blocking the passage way to the front door. The exposed timber work in the gable, with the flower boxes that the artist has suggested on the porch wall will give this home a most charming appearance. For those who desire a glazed



FLOOR PLAN

sun parlor instead of a porch, it would be a simple matter to enclose this porch with sash.

From the porch we enter a small vestibule with clothes closet and pass into a comfortable living room with a cheerful fireplace. In addition to the front window the living room has windows at the side so that direct sunlight can enter.

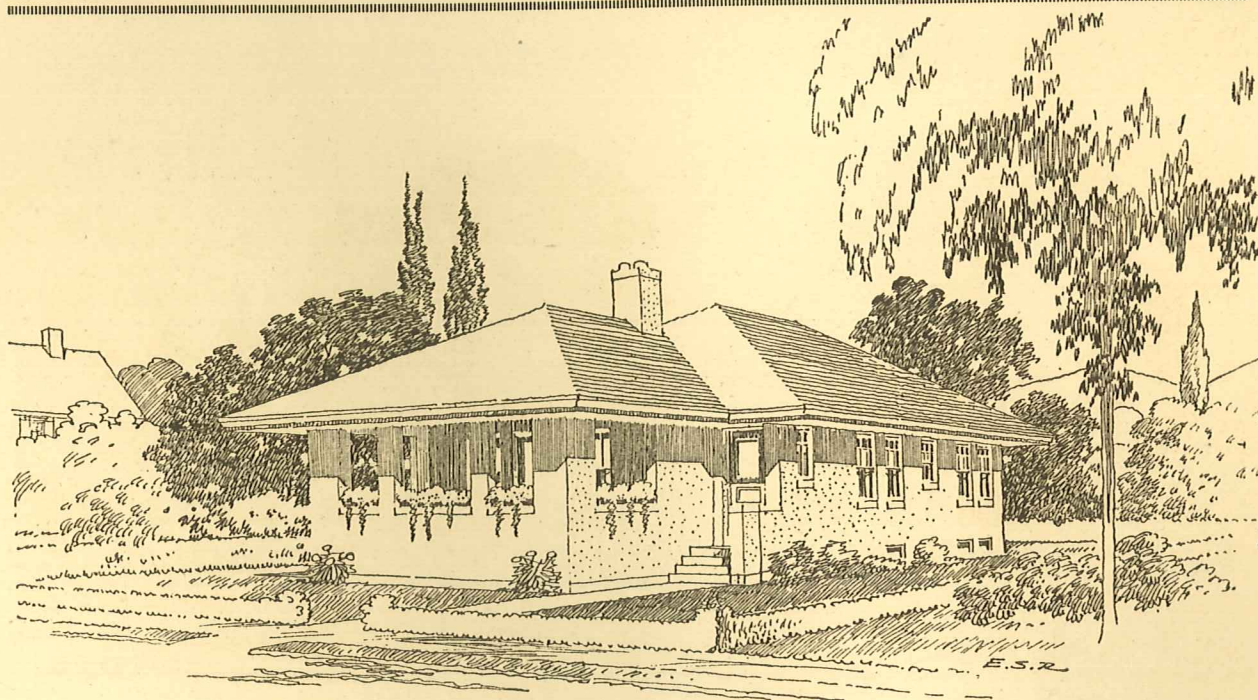
From the living room an archway opens into a comfortable dining room. A small hall off the dining room leads to two chambers and bath room.

In the rear is the customary kitchen and pantry, and another bed chamber. Steps lead down to a grade entrance and to the basement.

A cellar has been provided under the whole of the house but in southern latitudes the basement could be omitted or reduced in size with some saving of expense.

This bungalow plan has been used many times in the suburbs of Chicago and has proved very popular. It is narrow enough to place on a 35-foot lot with room for a garage driveway on one side. It is just the plain, common sense kind of home that the average citizen desires. It does not strive for effect. It does not look pretentious. It will fit well and look dignified and comfortable in any community.

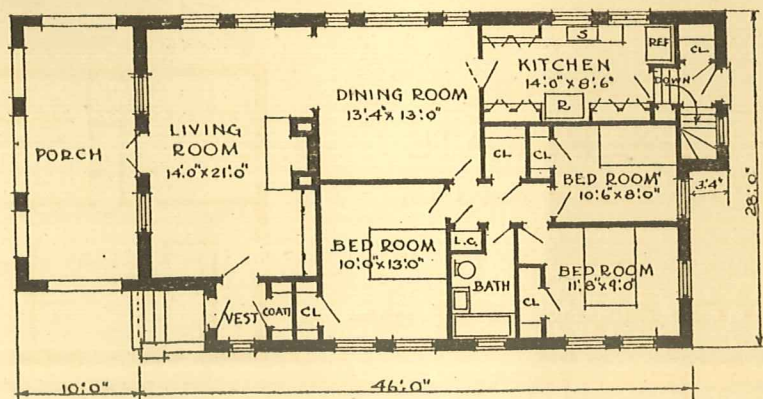
CONCRETE HOUSES



No. 6102 THE HASLEMERE

Dean and Dean, Architects, Chicago

A Fine Suburban Home



FLOOR PLAN

THIS typical bungalow is designed for a 40-foot lot facing south or west. In accordance with the modern fashion the entrance has been made entirely separate from the porch. The porch may be glazed so that it can be made part of the living room in the winter and opened up to every breeze through casement windows in summer. The wider overhang of the eaves is a design that is particularly popular in north, west and central cities.

The living room is shut off from the entrance by a small vestibule that will intercept winter storms. Outdoor wraps, golf clubs, and the like, can be placed in the clothes closet in the vestibule. A full length mirror could be attached to the door of this closet, if desired. The living room is of splendid size, extending across the front of the house. A well placed chimney piece with built-in book shelves at one side and the many windows will make a bright and pleasant room that any hostess would be proud of.

The three bed rooms each have a good closet and there is a linen closet with drawers and shelves in the lobby by the bed room door. In the ceiling of this lobby is a scuttle leading to the unfinished attic space.

The kitchen is well fitted for efficient operation and contains plenty of good cupboards as well as refrigerator space and broom closet at the rear entry.

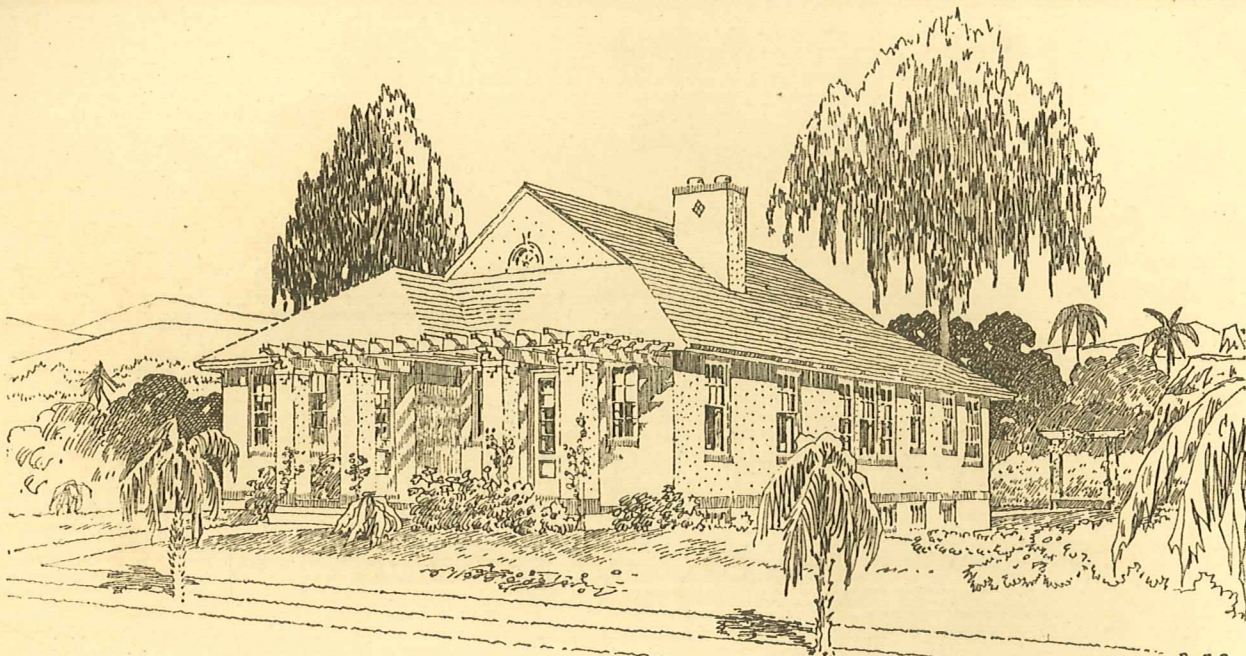
The cellar is under the rear half of the house; it contains fuel and boiler room shut off from the rest of the cellar with a fireproof partition and cement plastered fire-resistive ceiling. There is also a laundry, a fruit storage and a workshop.

Some people will prefer to transpose the kitchen and the front bed room, thus bringing the kitchen entrance nearer the front and insuring quick access to the front door from the kitchen. There will also be some economy in plumbing by this arrangement and the cellar stairs can be rearranged back of the dining room.

The porch floor and the front steps are of concrete that will not wear slippery or ever require repair. The only woodwork exposed to the weather is the windows and doors—they could easily be repainted by the owner on a Saturday afternoon. The eaves are lined with metal lath and cement plaster—the roof is covered with fire-resistive concrete or asbestos tile and the whole house is thus permanent and lasting. A grey or cream colored stucco with white sash against the red roof will give a pleasing color effect.

The simple, massive lines of the exterior design will please those who are looking for solid comfort without ostentatious display.

CONCRETE HOUSES

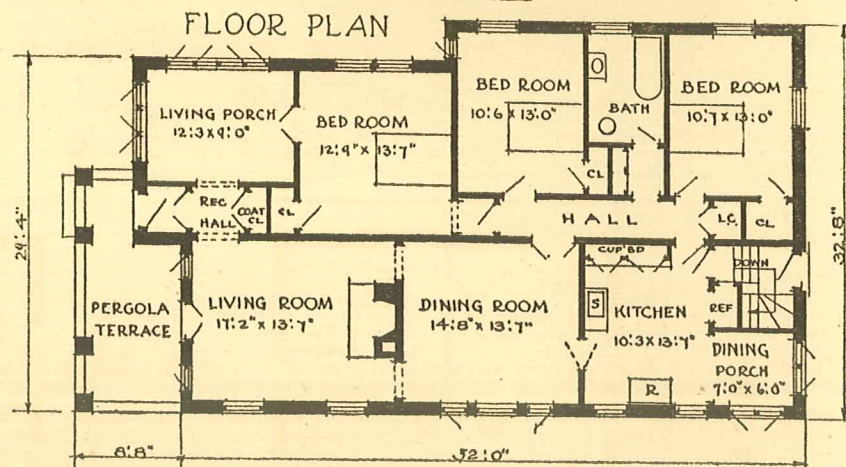


No. 6103

THE COLUMBIA

J. T. Pomeroy, Architect, Chicago

A Roomy Bungalow on California Lines



THE Columbia is the type of bungalow that is proving so popular in California and some southern states and is rapidly spreading east. Although from the front this bungalow looks small and homelike, it is surprising to see how much room has been made available within.

The entrance porch leads into a small vestibule from which a comfortable living room opens on the right. The fireplace is placed at the end of the room and is flanked by two archways leading into the dining room. This rather unusual feature in the design will give a very interesting and dignified appearance to the living room although, of course, the fireplace could easily be transferred to the outside wall if desired by those who prefer the customary arrangement.

The paved terrace with pergola in front of the living room adds greatly to the effectiveness of the plan. Climbing roses or wisteria will quickly cover this and produce a bower of blossom that will be a delight to the owner.

The large living porch, screened and glazed, opens on the other side of the reception hall and is in effect another living room. There is plenty of room for some good wicker porch furniture and a couch or hammock, but if desired the sash could be omitted and the porch left open. A door instead of an archway should then be placed in the reception hall to shut it off from the rest of the house.

The dining room lies behind the living room and is well lighted from a triple window. From this we pass through a swinging door into the kitchen and a door in the central partition leads into the hall that communicates with the sleeping quarters. Beyond the kitchen is a small dining alcove lighted on two sides.

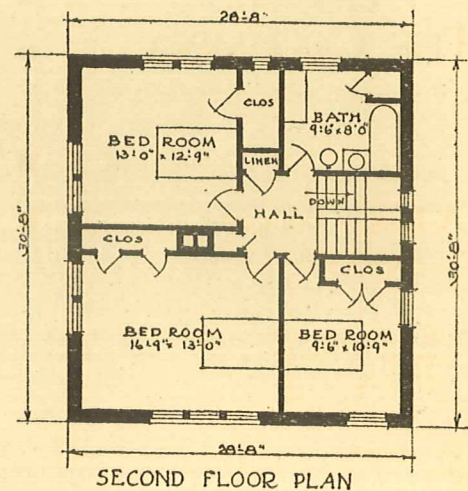
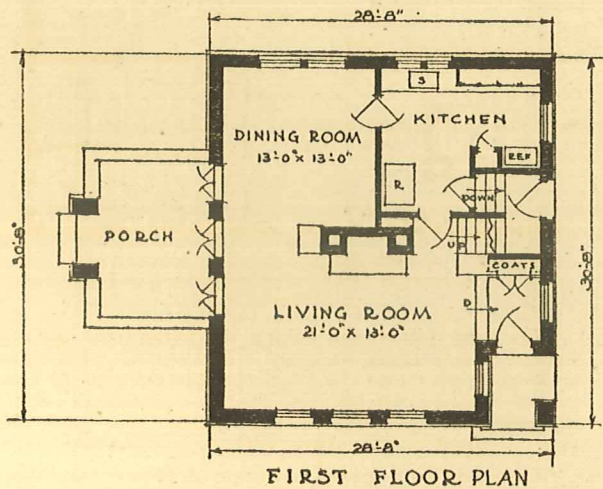
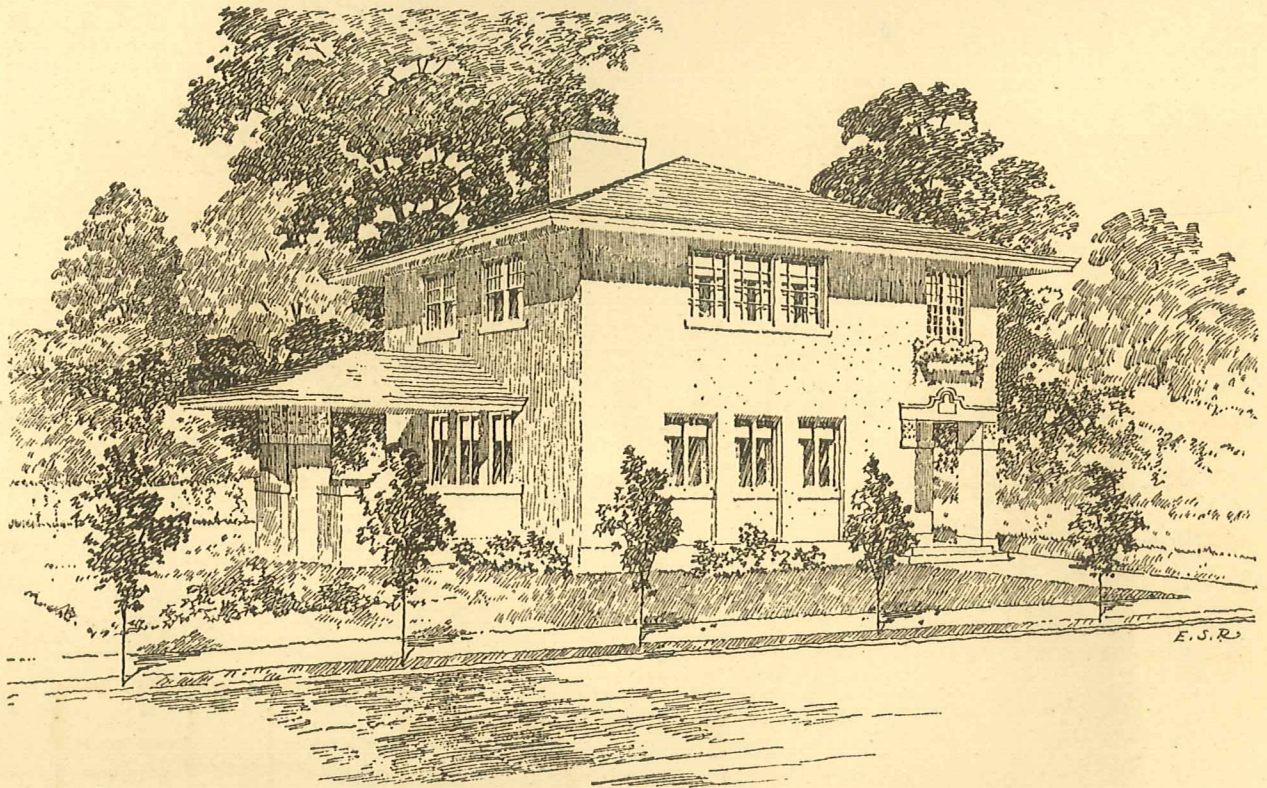
There are three good bed rooms all having cross ventilation. The front bed room opens onto the living porch. Some people will prefer to rearrange this plan by placing the kitchen in the space occupied by the front bed room and using the space now shown for the kitchen for a large bed room. This could easily be arranged without additional cost.

A cellar is planned under one-half of the house containing laundry, boiler room, etc., but if built in warm climates this would hardly be necessary.

The house needs a lot at least 45 feet wide and should face west for preference, but on either a northern or southern aspect this plan would fit in well.

The contrasting color tones of a red or a green tile roof against the cream tinted stucco walls and piers set off by the painted woodwork of the pergola and the red brick window sills, base course and chimney cap will give a dainty and pleasant appearance to this house.

CONCRETE HOUSES



No. 6201

THE CHILWORTH

Russell Barr Williamson, Architect, Milwaukee

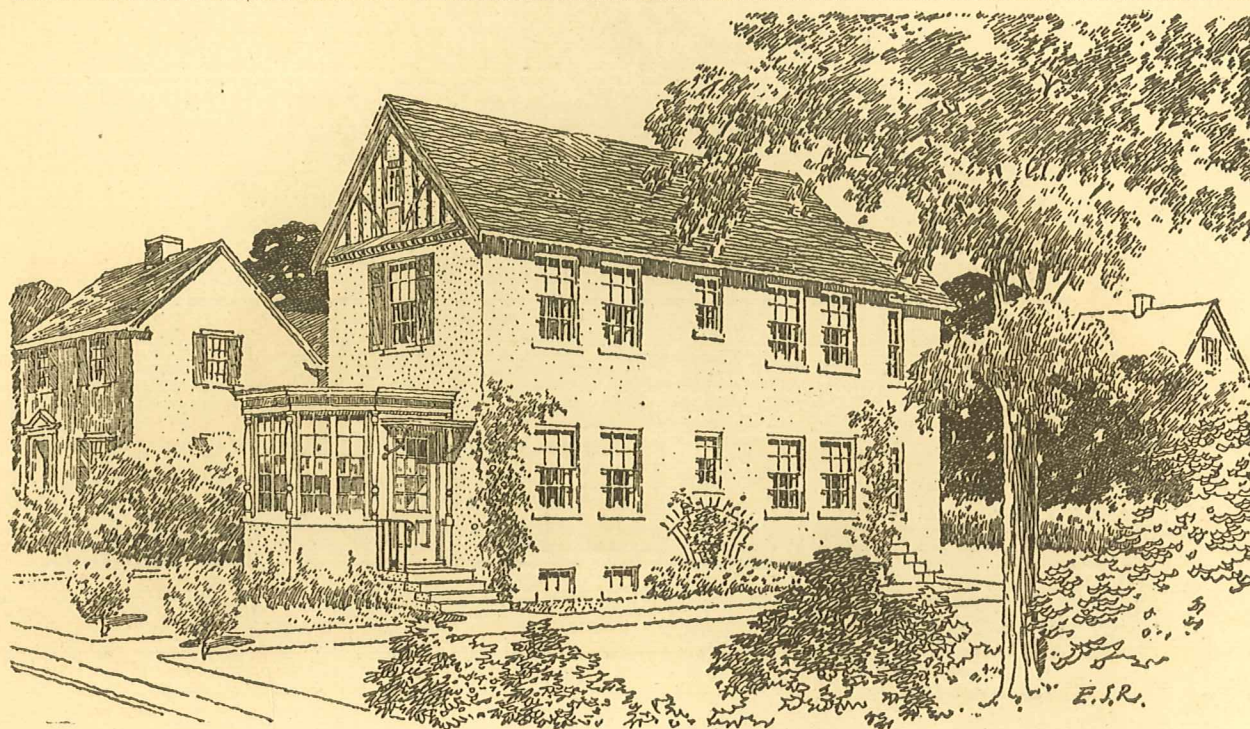
An Economical House for the Man of Moderate Means

THIS simple design makes an attractive, practical home. From the small entrance hall, one enters a spacious living room with a comfortable dining room at the rear of the house. Three sets of French doors to the porch in the side wall of the dining room and living room give the effect of

one large room, although the rooms are separated by the projecting fire-place.

The total width is just under 40 feet and requires a lot 50 feet wide. The house might be readily used on a narrower lot, if the porch is placed on the front or rear.

CONCRETE HOUSES



No. 6202

THE AYLESBURY

Gordon Robb, Architect, Boston

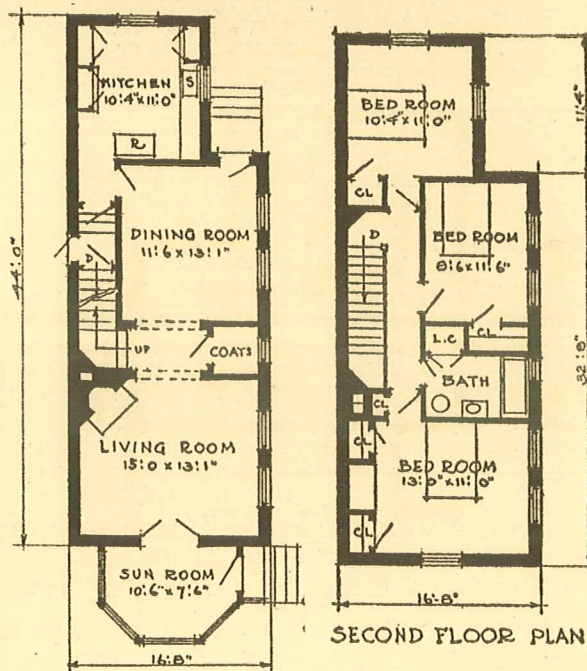
A Slender House for a Narrow Site

LAND values are so high in city suburbs that those who want to own a single house are often compelled to economize in the amount of land they purchase. It is possible to build a detached house on a 25-foot lot and it is often done. This plan is an excellent solution of the problem.

Many city building laws require that a single house be set at least three feet from the side boundary lines. Therefore, anticipating the possibility that another house may be only six feet away, one side of this house has been planned without openings, except the rear entrance. This arrangement makes the plan suitable for a semi-detached house by using this side as a party wall and building another house with reversed plan alongside. The kitchen and cellar entrances would then be placed in the angle between the dining room and the kitchen walls.

The plan is unusually commodious. The entrance from the street is through the sun room, built in the form of a large bay affording views in all directions. From this we pass into a living room the full width of the house with a corner fireplace and through a deep recess we enter the well lighted dining room with a glazed rear door that will provide cross ventilation through the house. The kitchen has no pantry, but cupboards on the walls give plenty of shelf room.

On the second floor are three good bed rooms with capacious clothes closets. The pair of closets and the built-in dressing table in the front bedroom are an attractive feature. Cross ventilation has been arranged in each room, and a skylight lights the upper hall and stairs. As each bed room gets light



FIRST FLOOR PLAN

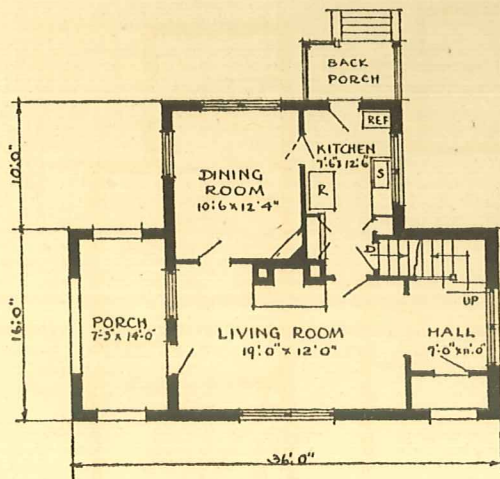
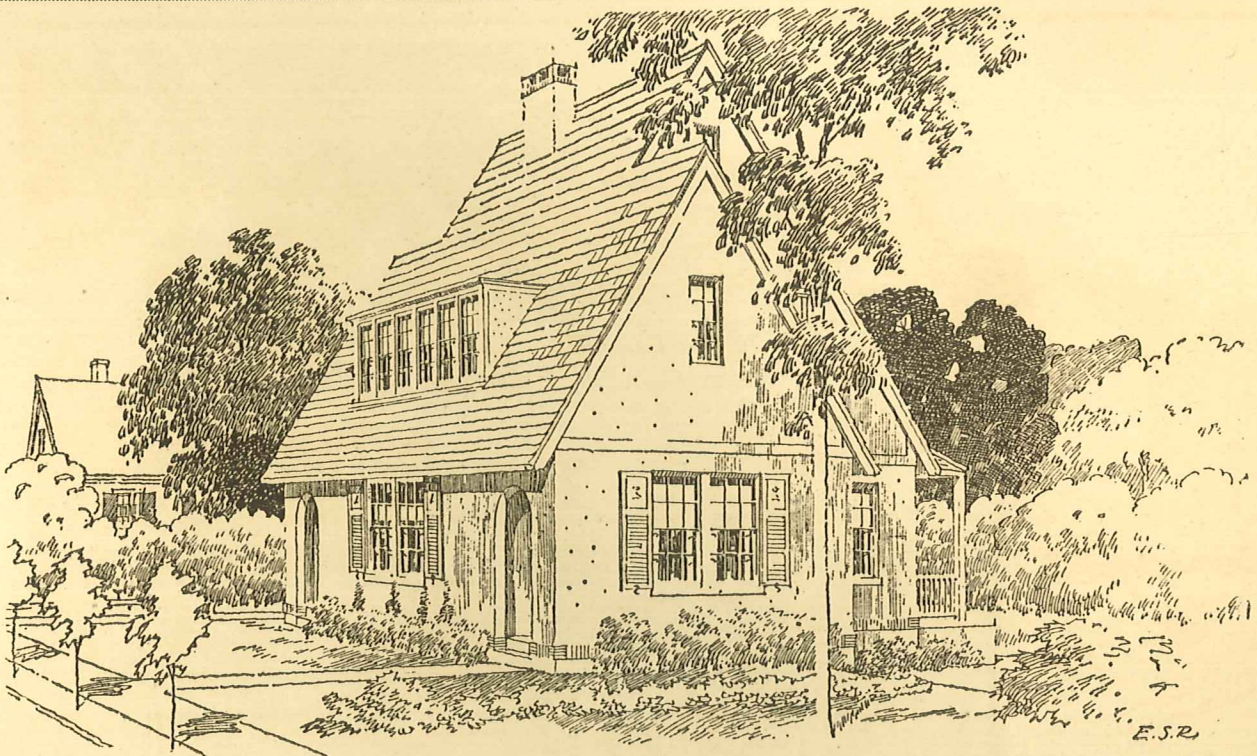
SECOND FLOOR PLAN

from front or rear as well as the side, they will be well lighted and ventilated no matter how close adjoining houses are.

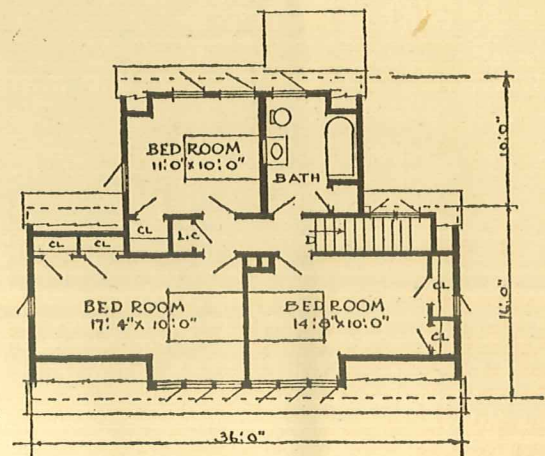
The exterior is designed in a simple English motif. It will stand out from its more commonplace neighbors on either side because of its interesting half-timber gable, its plain stucco wall surfaces and its octagonal porch.

Although this house should preferably face south or west, suburban conditions usually do not leave the owner much choice of aspect. This house will fill conditions imposed by narrow city sites nicely on any frontage.

CONCRETE HOUSES



FIRST FLOOR PLAN



SECOND FLOOR PLAN

No. 6203

THE LYNDBURST

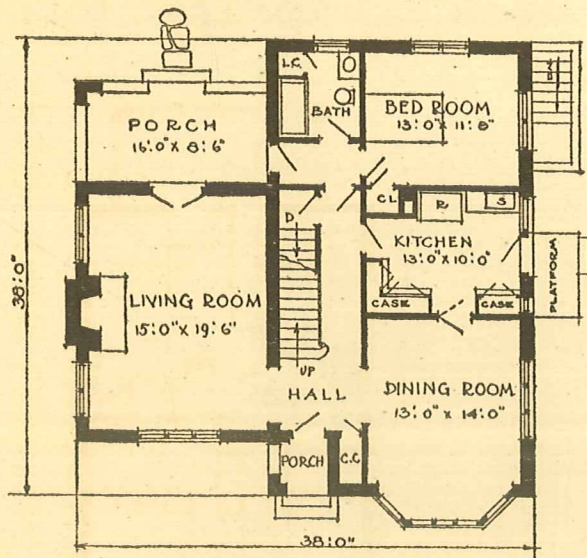
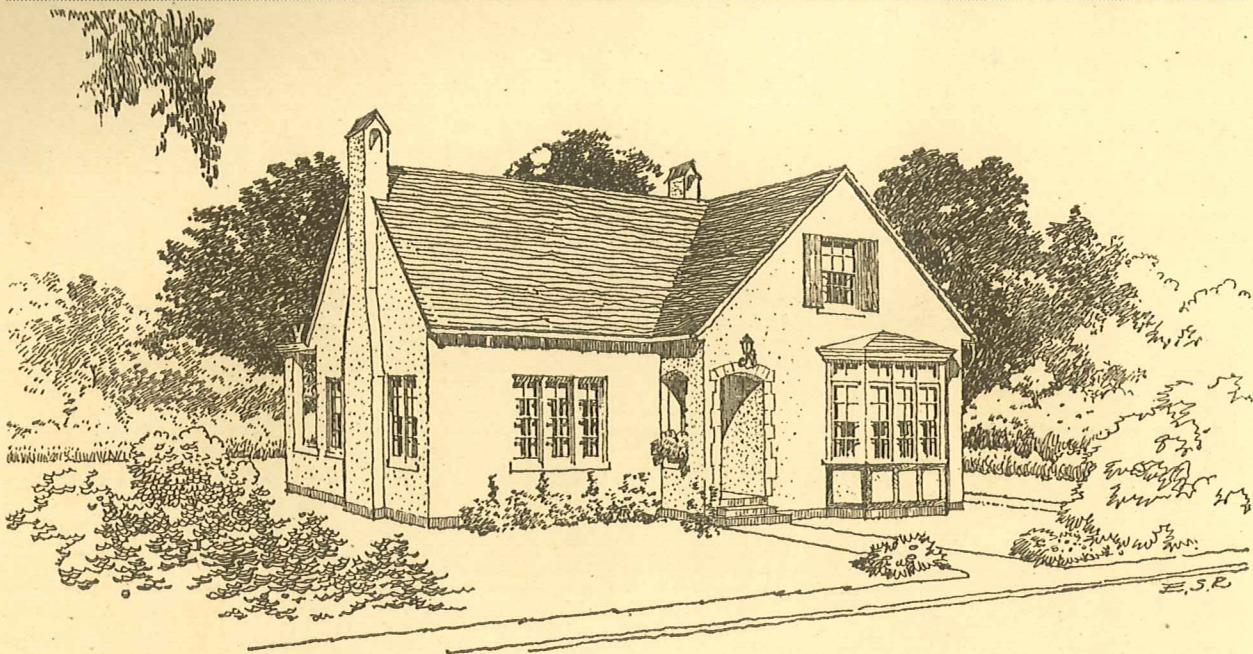
Geo. H. Schwan, Architect, Pittsburgh

This Gabled House has a Continental Charm

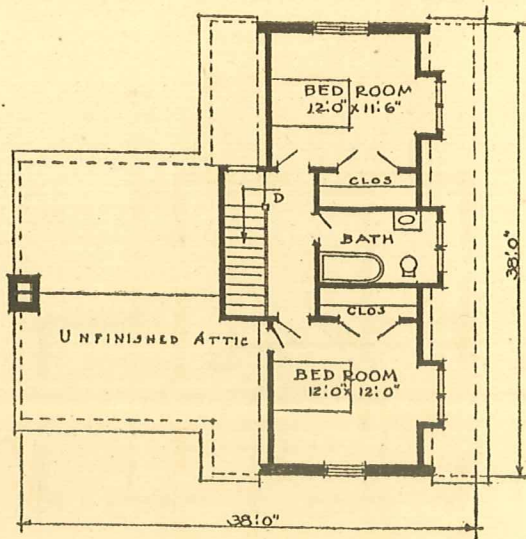
THE steeply pitched roof and gables of this charming house are reminiscent of northern France and illustrate a style that is rapidly coming to vogue especially in California. Its use, however, is not confined to these parts, as the original design from which this drawing is taken was first built in Ohio and has proved very popular elsewhere as well. The house is 36 feet wide, requiring a lot not less than 45 feet.

A fine living room with fireplace occupies the center of the frontage with recessed entrance porch and hall on one side and a large open porch with arched entrances on the other. Behind this is a dining room and kitchen and above are three good bed rooms and bath. It is designed for a south aspect and would look particularly well on a corner lot fronting south and west.

CONCRETE HOUSES



FIRST FLOOR PLAN



SECOND FLOOR PLAN

No. 6204

THE PURLEY

Olsen & Urbain, Architects, Chicago

A House Built on the Installment Plan

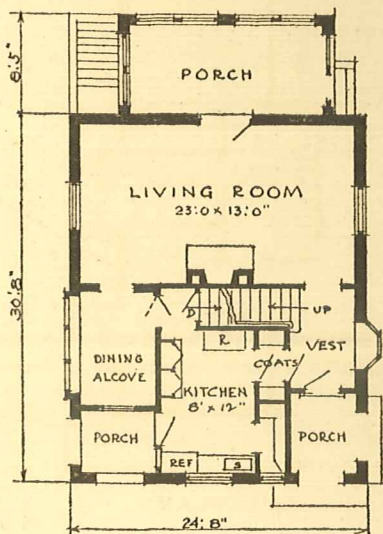
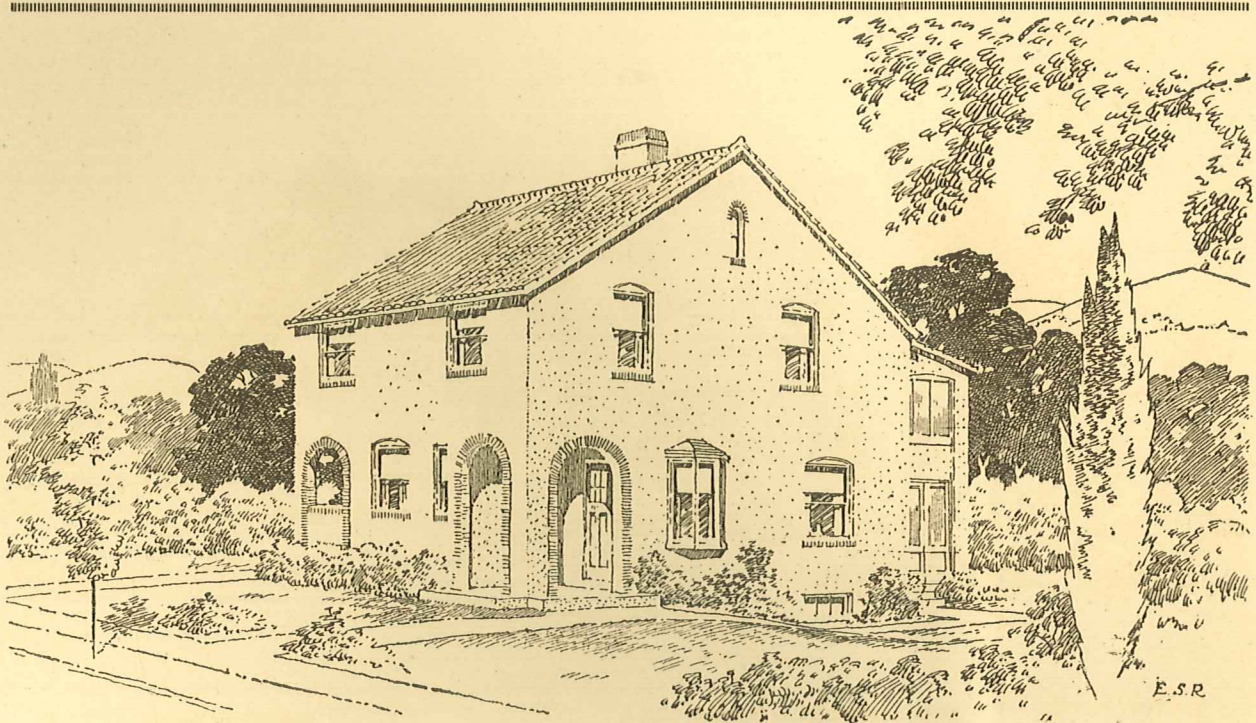
THE fine living room of this charming six-room house is lighted on three sides and has a lofty beamed ceiling. The ground floor bed room has a bath adjoining. The dining room and kitchen are of ample size and upstairs are two good bed rooms with an additional bath.

For the man who is looking forward to a good home but lacking the funds to complete it at the start, this house has been especially designed. The dining room, kitchen, bed

room and bath form a complete unit so that the upstairs might be left unfinished or the building of the wing containing the living room left till later as the house would look well without it.

It occupies an extreme width of 40 feet and should be placed on a lot not less than 50 feet wide. It is intended for a southern or eastern aspect as shown or for north or west, with the plan reversed.

CONCRETE HOUSES



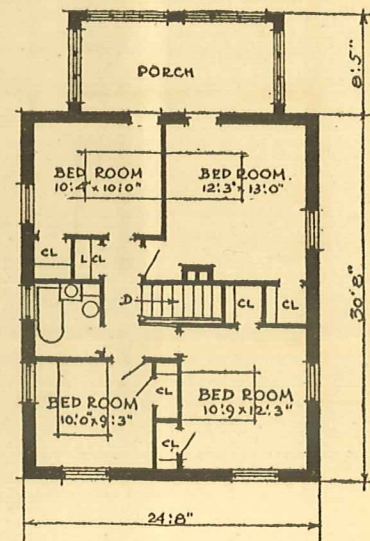
FIRST FLOOR PLAN

The red brick sills and the arches and the red roof of this Italian design will make a pleasing contrast to the white stucco walls.

No. 6205

THE SWANAGE

Henry K. Holsman, Architect,
Chicago



SECOND FLOOR PLAN

Does Your Lot Face North?

THE problem of a house designed to face north is sometimes difficult of solution. Considering how many streets run east and west, with half their houses facing north, it is surprising that the needs of such a site have not received more consideration.

This plan shows a clever solution of the problem for with unusual daring the architect has placed the kitchen in the front of the house.

The advantages of this position are manifest, as the kitchen is now the coolest room in the house in hot weather, and the housewife who spends a large portion of her time there can see what is happening in the street outside. The window is

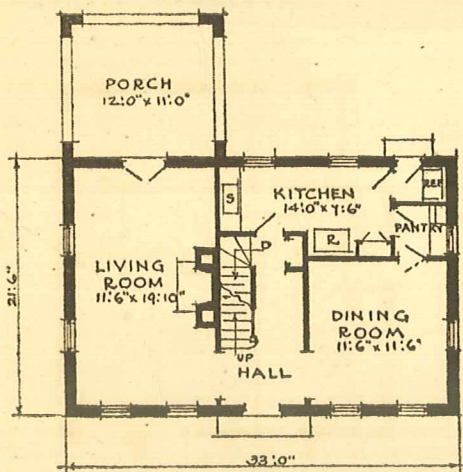
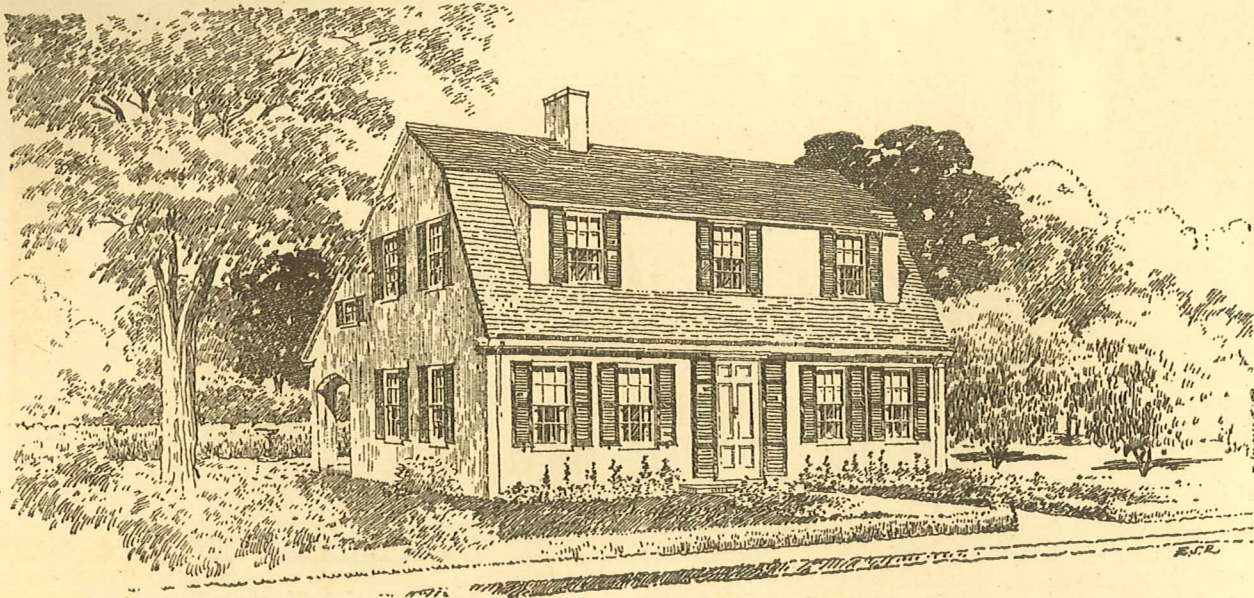
so designed that it can be easily curtained, concealing the interior of the kitchen from passersby.

The large living room occupies the whole of the rear of the house and beyond it is a spacious screened porch looking into the garden at the rear of the lot. This living room and porch get all the sunshine. Between living room and kitchen is the popular dining alcove.

The upper floor comprises four bed rooms, a sleeping porch and the bath room. Some of the bed room partitions could be omitted and two or three larger rooms arranged to suit the needs of a small family.

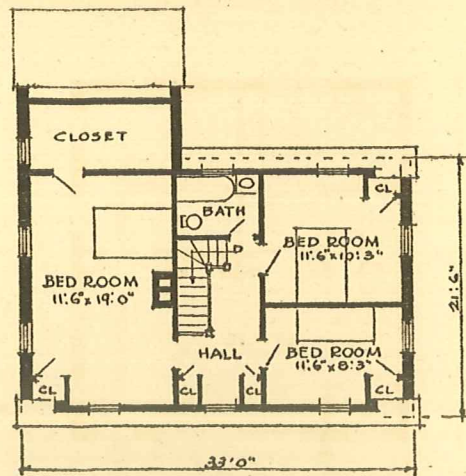
The house is 25 feet wide and should be on a 35-foot lot or larger.

CONCRETE HOUSES



FIRST FLOOR PLAN

No. 6206



SECOND FLOOR PLAN

THE CROWBOROUGH

John Barnard, Architect, Boston

A Colonial Design from New England

THERE is a charm about the Cape Cod farmhouse that is particularly attractive. Its lines have been translated with wonderful success for the use of concrete block and stucco by the architect in this colonial plan.

What a delightful picture this home will present with its white walls and green blinds against a background of stately elm trees. Notice how the ground has been graded up to the front doorsteps to give that well proportioned and cozy appearance to the house that our old colonial homes possess.

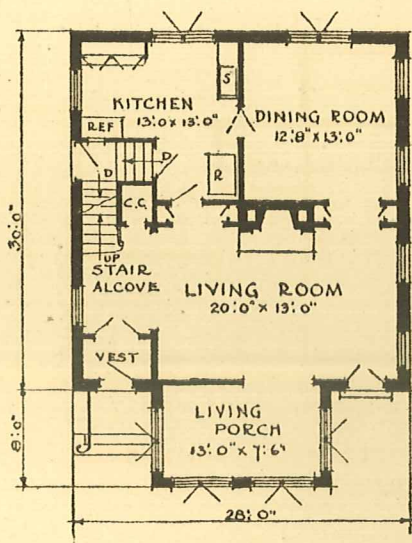
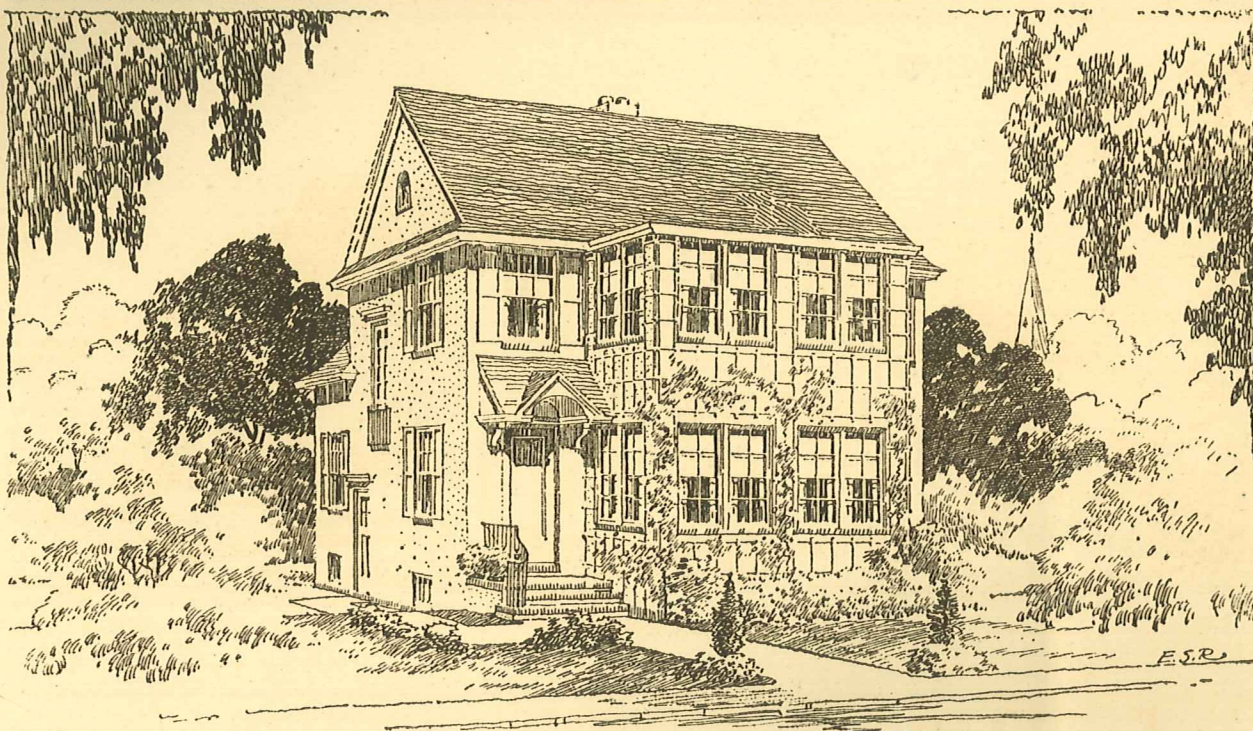
Being built of fire resistive construction this will be a permanent home that will mellow with age and preserve for all time the beauty of the colonial tradition. The architect has placed fireproof partitions of concrete block in the base-

ment which also carry the load of the upper floors without settlement.

In this plan the living room runs the full depth of the house, giving a splendid room nearly twenty feet long, and containing four windows. To the right of the entrance hall is the dining room which is 11 feet, 6 inches square. The remainder of the lower floor is taken up with a kitchen, pantry and other service equipment. The porch off the living room makes a splendid addition for the summer months.

The plan of the second floor is very simple, containing three bed rooms and bath. There are five small closets and one extra large closet for the storage of household goods not in use. This closet could be changed into a sleeping porch without much difficulty at small expense. The width of the house is 33 feet and this calls for a lot not less than 45 feet wide. A southern exposure is to be preferred for this plan.

CONCRETE HOUSES



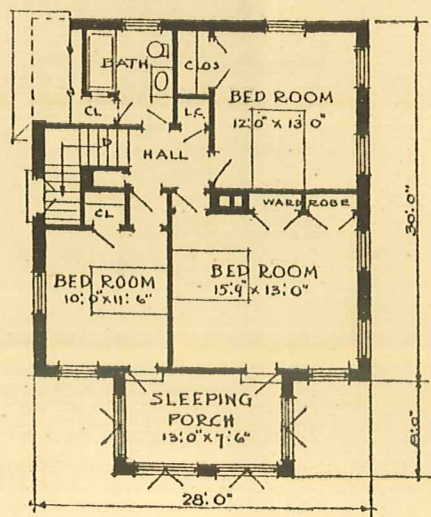
FIRST FLOOR PLAN

A stucco house saves painter's bills. A concrete tile roof reduces insurance rates. A concrete wall keeps out vermin and prevents shrinkage cracks.

No. 6207

THE CONWAY

J. T. Pomeroy, Architect, Chicago



SECOND FLOOR PLAN

A Square House With Sleeping Porch

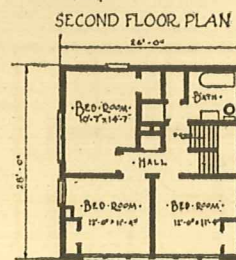
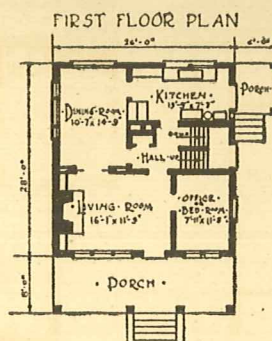
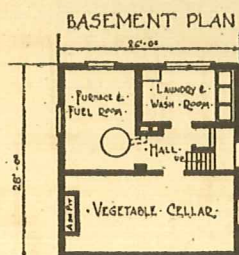
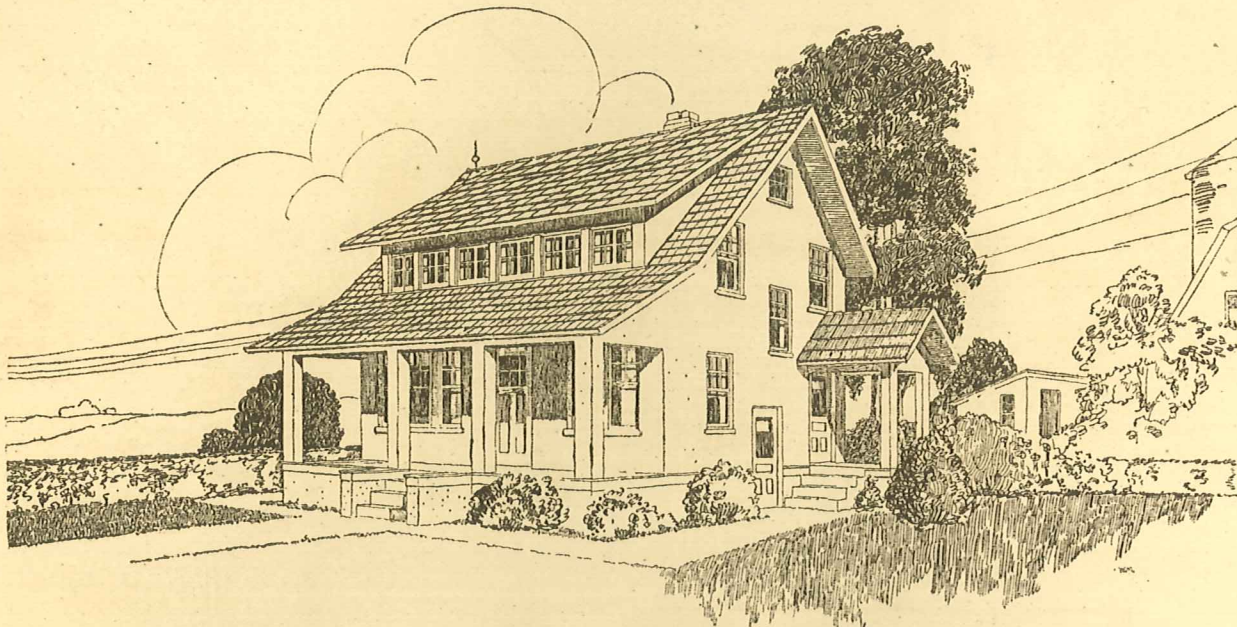
THIS is a six-room, square, two-story house which will make a home that is a model of compact and commodious planning. It is only 28 feet wide and could, if necessary, be nicely placed on a 35-foot lot, though 40-foot lot would be better. It is designed for a western or southern frontage.

From a tile vestibule with double doors one enters a convenient hallway and passes through an arch into a finely proportioned living room. The central fireplace has deep openings on each side and in the recesses of the openings, bookshelves and cupboards have been artfully contrived. Another opening leads into a fine sun porch with casement windows on three sides. The dining room and kitchen occupy

the rear of the house. Both rooms have windows on both sides. The kitchen is a model of good arrangement with an opening for the icebox so it may be filled from the entryway. The upstairs contains one small room and two larger bed rooms; a sleeping porch above the sun porch is entered from the front bed rooms. The bath room has a tile floor.

The outside elevations are an adaptation of the Dutch colonial design which is quite popular everywhere and so much in vogue in eastern Pennsylvania. The effect of the white stucco on concrete block with green blinds and trim and the red brick sills will be very pleasing, while the trellis covered front porches overgrown with vines will add greatly to the artistic charm of the dwelling.

CONCRETE HOUSES



No. 7201

THE CARSHALTON

Designed by the Extension Division, College of Agriculture, Ohio State University

A Well Planned Firesafe Farm House

WELL planned firesafe construction is of the greatest importance in the building of a farm house because of the lack of fire-fighting apparatus and the difficulty of controlling a blaze once started.

There are so many fire risks present in barns, machine sheds and other buildings and their inflammable contents that it is essential that the chance of fire should be reduced to a minimum. This small farm house, designed by agricultural experts, represents the best modern ideas in planning the arrangement of the American farm house.

In addition to the usual living room, large dining room and kitchen, there is a convenient farmer's office on the ground floor. A fireplace has been introduced in the end of the living room with book shelves on each side. A grade entrance leads down to a large basement wash room and laundry. A large space is set aside for a vegetable cellar. This should be

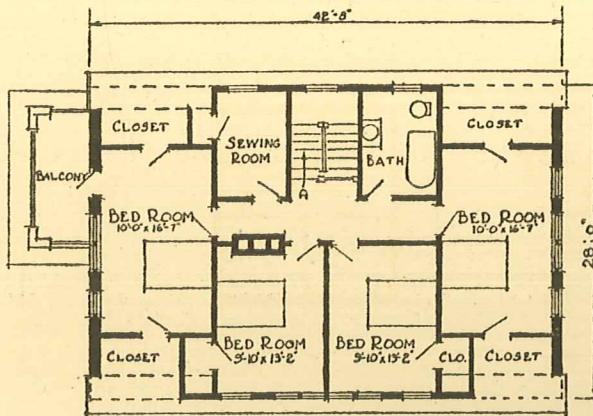
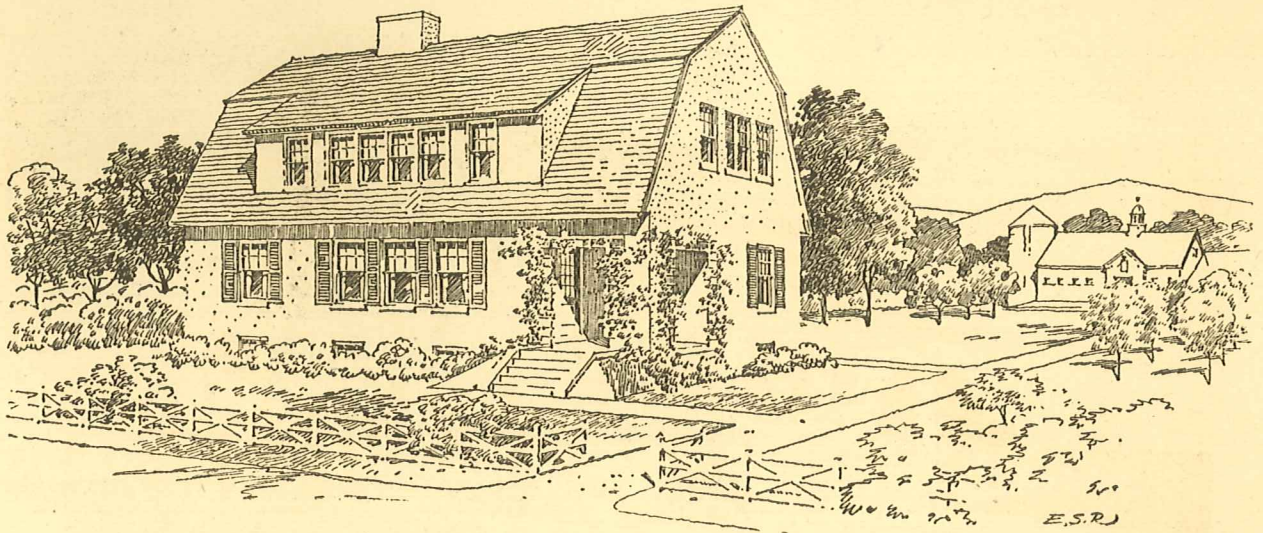
sufficiently walled in to keep an even temperature so that low temperatures will not destroy the fruit and other foods that have been placed therein for safe keeping.

Upstairs are three bed rooms, cross ventilated, and the usual bath room. All of the rooms contain large sized closets and the many windows allow more than the usual amount of daylight.

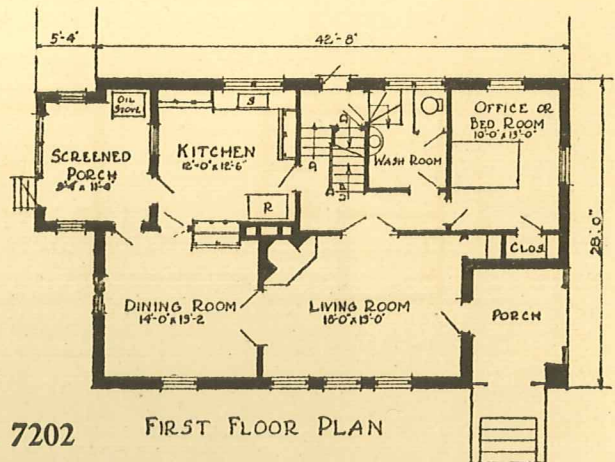
The roomy front porch makes a delightful resting place in the twilight at the close of the long day. A south or east exposure is best for this building. It will be liked by others aside from the farmer, and where the ground floor office is not desired it can be thrown into the living room, giving a fine room the width of the house.

Altogether it is one of the most practical houses designed. It has an exterior that is in the best of taste; it is suitable for town or suburban builders as well as for farmsteads.

CONCRETE HOUSES



SECOND FLOOR PLAN



FIRST FLOOR PLAN

No. 7202

THE WALLINGFORD

Wm. Draper Brinckloe, Architect, San Diego, Calif.

The Up-to-Date Farmer's Home

THIS roomy farm house has been designed to meet the needs of the modern farmer. The outside is cozy and homelike. It would look equally well on the treeless prairie of the west or on the wooded hillsides of New England. It should be built with the living room facing south or west.

The front porch is a part of the house; the roof runs over it and is supported at the corner by a massive pier. The porch openings are lined with trellis work for roses or other climbing vines. The white stucco walls with green trim and blinds and foliage will look inviting.

The plan is a model of convenience. The farmer needs large rooms, especially at harvest time. Here is a living room 18 feet by 13 feet with corner fireplace and a large dining room beyond. The kitchen, connecting by swinging doors with the dining room, contains large closets, and a china closet which can also be opened on the dining room side.

The rear screened porch will be very convenient for house work on hot days and for the family breakfast table. Under this porch is a large concrete rain water tank.

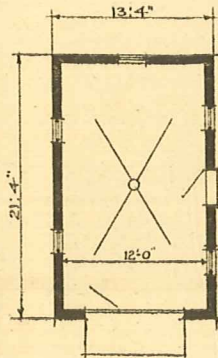
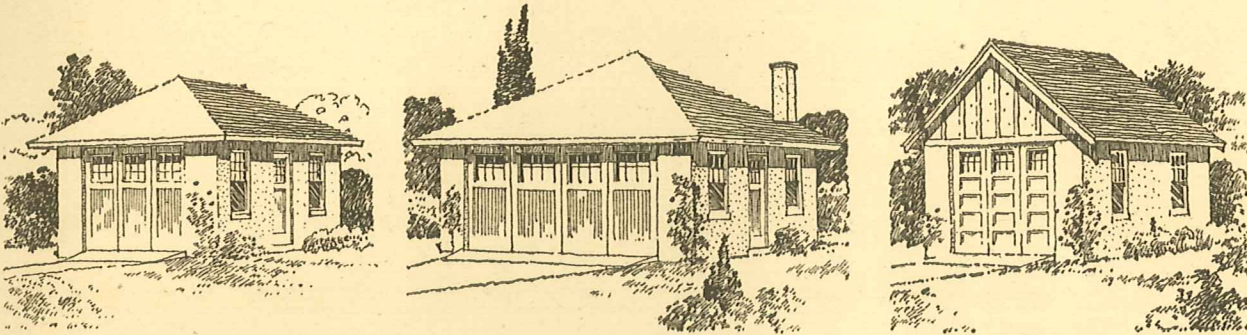
From the rear entry the men can go directly into the wash room on the ground floor to clean up before entering the house. From the same door, stairs lead to the basement, one-half of which is planned for the storage of fruit, seed, etc., and the other half contains laundry and boiler room.

At the east end of the house, shut off from the other rooms is the farmer's office. The office is essential on the up-to-date farm where accurate records are kept of stock and of farming operations.

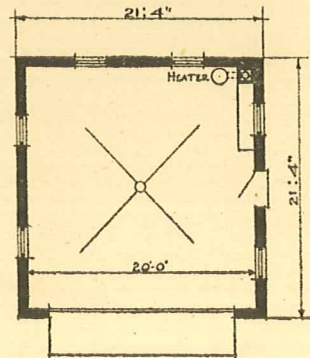
Upstairs we find four good bed rooms with plenty of closet space in each room. There is a good sized bath room, and also a small room for sewing or additional storage.

This structure, built of concrete block covered with portland cement stucco with a fire-resistive roof, will be proof against the risk of fire so much dreaded on the lonely farm. Although designed for farm conditions, the pleasing lines of this house will appeal to many families in suburb and country.

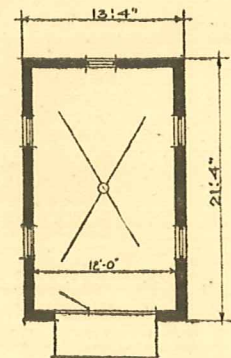
CONCRETE HOUSES



FLOOR PLAN



FLOOR PLAN



FLOOR PLAN

CONCRETE BLOCK GARAGES

THE appearance of many a well designed house is spoiled by a cheap and poorly constructed garage placed near it. The house and garage should be considered together in designing the home and should be fitted into the lot by suitable landscaping and a proper layout of walks and driveways.

The material for wall and roof construction should be the same or in any case harmonize. If stucco is used for the house it should also be used on the garage.

As the garage is generally located near the house it should be an attractive structure that will add to the beauty of the place. Buildings with stucco surfaces harmonize well with other structures and with natural surroundings whether in town or country and provide an atmosphere of stability which makes them doubly attractive.

Thousands of concrete block garages in successful use and large numbers now being erected, furnish the best proof of their fitness and suitability. Concrete block are suitable for all classes of garages from the smallest one-car building to the types with separate rooms for several cars, such as are usually built for the accommodation of car owners living in apartment houses.

The amount of money invested in the average automobile justifies a substantial garage that will afford the required protection against weather, theft and fire.

With a garage on the home grounds the owner has his car where the most use can be made of spare time to keep the machine clean and in good running order. He has a place to keep oil, grease and other car supplies. Not only is it handier to have the car near the house for use in bad weather and in emergencies, but there will be less danger from fire, tampering and pilfering, as the owner is usually able to keep closer watch on garage and car.

A garage that increases the fire risk on the property is more of a menace than a convenience. In many cities fireproof construction for the garage is insisted on even though the house construction is of inflammable material.

City building regulations often require that buildings of inflammable construction be built five or ten feet away from the lot line but allow fireproof buildings to be built on the lot line. On narrow city lots fireproof concrete block

garages have thus a decided advantage over inflammable garages in saving space. The five-foot strip of land between lot line and an inflammable garage is practically useless. It is too narrow to cultivate and is shaded by the garage. With fireproof concrete block construction it is possible to erect two garages side by side with a fireproof party wall on the lot line, resulting in a saving of space for both owners.

An essential feature of garage design which is incorporated in the above plans is the wide eaves, or overhang, at the doors in order that the owner may be protected from falling rain or dripping water when unlocking his doors during wet weather. The door at the side is quite a convenience, especially when it is not intended to take the car out.

Garages are often heated from the heating system of the house but may be heated by independent installations if desired. A flue for this purpose is shown on one of our designs and can easily be incorporated in the others.

Special care should be given to the selection of the hardware for supporting and operating the large moving doors. This is the only moving part of the garage and parsimony at this point is very poor economy. Doors that stick or bind are a nuisance to the automobilist and an extra \$10 spent on good hardware will repay itself ten times over in comfort and convenience to the owner.

The car owner even if he owns a small car, should build his garage large enough to take the larger makes so that in case he buys a bigger car later on he will not have to rebuild his garage or remodel it at considerable expense. He will also find that a garage wide enough to allow plenty of working space will be very convenient and he should have room enough at the back for a work bench and lockers for accessories.

The paving should, of course, be of concrete and concrete driveways from the street to the garage will also look clean and neat and will not require repair. In any case, the floor should extend at least three feet outside the door in order to provide a dry entrance.

A concrete block garage is practically permanent. There are no bills for painting excepting windows and doors and no other maintenance and repair. The car owner is secure in the knowledge that his machine has maximum protection.

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Please send me blueprints, specifications and quantity surveys of the following houses shown in your book "Concrete Houses":

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Checks must be sent with order. Plans will not be sent on approval. If plans are found unsuitable, money will be refunded if they are returned in good condition within ten days.

NOTE:—If you intend to reverse the plans of any house, you should order one set of regular blueprints and one reversed set. The regular set can be easily read for estimating and scheduling and the reversed set will be used in laying out the building.

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Date

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| 17 | 100.00 | 100.00 |
| 18 | 100.00 | 100.00 |
| 19 | 100.00 | 100.00 |
| 20 | 100.00 | 100.00 |
| 21 | 100.00 | 100.00 |
| 22 | 100.00 | 100.00 |
| 23 | 100.00 | 100.00 |
| 24 | 100.00 | 100.00 |
| 25 | 100.00 | 100.00 |
| 26 | 100.00 | 100.00 |
| 27 | 100.00 | 100.00 |
| 28 | 100.00 | 100.00 |
| 29 | 100.00 | 100.00 |
| 30 | 100.00 | 100.00 |
| 31 | 100.00 | 100.00 |
| 32 | 100.00 | 100.00 |
| 33 | 100.00 | 100.00 |
| 34 | 100.00 | 100.00 |
| 35 | 100.00 | 100.00 |
| 36 | 100.00 | 100.00 |
| 37 | 100.00 | 100.00 |
| 38 | 100.00 | 100.00 |
| 39 | 100.00 | 100.00 |
| 40 | 100.00 | 100.00 |
| 41 | 100.00 | 100.00 |
| 42 | 100.00 | 100.00 |
| 43 | 100.00 | 100.00 |
| 44 | 100.00 | 100.00 |
| 45 | 100.00 | 100.00 |
| 46 | 100.00 | 100.00 |
| 47 | 100.00 | 100.00 |
| 48 | 100.00 | 100.00 |
| 49 | 100.00 | 100.00 |
| 50 | 100.00 | 100.00 |
| 51 | 100.00 | 100.00 |
| 52 | 100.00 | 100.00 |
| 53 | 100.00 | 100.00 |
| 54 | 100.00 | 100.00 |
| 55 | 100.00 | 100.00 |
| 56 | 100.00 | 100.00 |
| 57 | 100.00 | 100.00 |
| 58 | 100.00 | 100.00 |
| 59 | 100.00 | 100.00 |
| 60 | 100.00 | 100.00 |
| 61 | 100.00 | 100.00 |
| 62 | 100.00 | 100.00 |
| 63 | 100.00 | 100.00 |
| 64 | 100.00 | 100.00 |
| 65 | 100.00 | 100.00 |
| 66 | 100.00 | 100.00 |
| 67 | 100.00 | 100.00 |
| 68 | 100.00 | 100.00 |
| 69 | 100.00 | 100.00 |
| 70 | 100.00 | 100.00 |
| 71 | 100.00 | 100.00 |
| 72 | 100.00 | 100.00 |
| 73 | 100.00 | 100.00 |
| 74 | 100.00 | 100.00 |
| 75 | 100.00 | 100.00 |
| 76 | 100.00 | 100.00 |
| 77 | 100.00 | 100.00 |
| 78 | 100.00 | 100.00 |
| 79 | 100.00 | 100.00 |
| 80 | 100.00 | 100.00 |
| 81 | 100.00 | 100.00 |
| 82 | 100.00 | 100.00 |
| 83 | 100.00 | 100.00 |
| 84 | 100.00 | 100.00 |
| 85 | 100.00 | 100.00 |
| 86 | 100.00 | 100.00 |
| 87 | 100.00 | 100.00 |
| 88 | 100.00 | 100.00 |
| 89 | 100.00 | 100.00 |
| 90 | 100.00 | 100.00 |
| 91 | 100.00 | 100.00 |
| 92 | 100.00 | 100.00 |
| 93 | 100.00 | 100.00 |
| 94 | 100.00 | 100.00 |
| 95 | 100.00 | 100.00 |
| 96 | 100.00 | 100.00 |
| 97 | 100.00 | 100.00 |
| 98 | 100.00 | 100.00 |
| 99 | 100.00 | 100.00 |
| 100 | 100.00 | 100.00 |

The total amount of the inventory is

The total amount of the inventory is

